

March 16, 2026

VIA EMAILED PDF

Devon Brophy
 34th Street Architecture
 220 34th Street NE
 Washington, DC 20019
devon@34thstreetarchitecture.com

**RE: 808 G Street SE (Square 0926, Lot 0806)
 26-Z-PDRM-00025**

Dear Ms. Brophy,

This letter will confirm the substance of your meeting with my staff on December 12, 2025. The property at 808 G Street SE (Square 0926, Lot 0806) is zoned RF-1 and is currently improved with a semi-detached building in single household use and an accessory building serving as a garage in the rear yard. The lot is an Assessment and Taxation (A&T) lot and a subdivision to convert the A&T lot to a record lot will be required as part of a permit application for any footprint expansions or work requiring a Wall Check.

The property is nonconforming for lot occupancy, and the project proposes the in-kind replacement of an existing two-story rear addition with a slightly modified footprint that results in a more conforming condition with respect to lot occupancy.

You are seeking confirmation that the project would comply with the Zoning Regulations and more specifically the RF-1 standards of 11 DCMR as follows.

Applicable Zoning Criteria Analysis

Criteria	Zoning Reference	Allow./Req.	Existing	Proposed
<i>Lot Dimensions</i>	<i>E § 202.1</i>	<i>30 ft. 3,000 sq. ft.</i>	<i>24.79 ft. 2,255 sq. ft.</i>	<i>Existing Nonconforming</i>
<i>Height</i>	<i>E § 203.2</i>	<i>35 ft. 3 Stories</i>	<i>28 ft 3 in. 3 Stories</i>	<i>No Change No Change</i>
<i>Front Setback</i>	<i>E § 206.2</i>	<i>Within range</i>	<i>Within range</i>	<i>No Change</i>
<i>Rear Yard</i>	<i>E § 207.1</i>	<i>20 ft.</i>	<i>7 ft. 3 in.</i>	<i>7 ft. 10¾ in.</i>
<i>Side Yard</i>	<i>E § 208.3</i>	<i>5 ft. min..</i>	<i>2 ft. 3 in.</i>	<i>No Change</i>
<i>Lot Occupancy</i>	<i>E § 210.1</i>	<i>60% max.</i>	<i>65.9%</i>	<i>65.8%</i>

Pursuant to C-201.1 and C-202.1 ordinary repairs, alterations, and modernizations, including structural alterations, shall be permitted to existing nonconforming structures provided the nonconforming structure is not enlarged upon, expanded, or extended.

In cases of a partial demolition of a building in which the footprint is not being expanded, at least four (4) feet of height of the enclosing perimeter walls, as measured from existing grade adjacent to and outside those walls, must be retained so as not to constitute a complete removal of a building or a zoning raze. I have reviewed the drawing set attached to this Confirmation, depicting demolition of the rear atrium addition and retention of the front and side exterior enclosing walls and confirm that the project does not qualify or will not be considered a zoning raze. The proposed project as presented will be classified as an addition, alteration and repair by my department for purposes of applying the applicable Zoning Regulations. It is understood that final design may alter this number or percentage, but that the classification as a non-zoning raze or as an addition/alteration project will be valid as long as four (4) feet of the enclosing perimeter wall is maintained. Failure to comply with this requirement will result in the denial of the building permit application and relief from the Board of Zoning Adjustment will be required prior to the approval of the building permit. Similarly, if during the construction process, less than a minimum of four (4) feet of the total existing exterior enclosing perimeter wall area is retained, the project will be deemed to be a zoning raze and construction must stop until relief from the Board of Zoning Adjustment has been granted. In addition, the Department of Buildings will take enforcement action to stop the work and issue fines.

Accordingly, if all other applicable zoning requirements are met, then when you file the plans for a building permit with DOB, this office will approve the drawings that are consistent with the information noted above.

Sincerely,

Elisa Vitale for KAB

Kathleen A. Beeton, AICP Zoning
Administrator

Attachments: Plat
Drawing Set dated June 18, 2025

Zoning Technician: Edwin Andino

DISCLAIMER: This letter is issued in reliance upon, and therefore limited to, the questions asked, and the documents submitted in support of the request for a determination. The determinations reached in this letter are made based on the information supplied, and the laws, regulations, and policy in effect as of the date of this letter. Changes in the applicable laws, regulations, or policy, or new information or evidence, may result in a different determination. This letter is **NOT** a "final writing", as used in Section Y-302.5 of the Zoning Regulations (Title 11 of the District of Columbia Municipal Regulations), nor a final decision of the Zoning Administrator that may be appealed under Section Y-302.1 of the Zoning Regulations, but instead is an advisory statement of how the Zoning Administrator would rule on an application if reviewed as of the date of this letter based on the information submitted for the Zoning Administrator's review. Therefore, this letter does **NOT** vest an application for zoning or other DOB approval process (including any vesting provisions established under the Zoning Regulations unless specified otherwise therein), which may only occur as part of the review of an application submitted to DOB.

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., September 24, 2024

Plat for Building Permit of :

SQUARE 926 LOT 806

Scale: 1 inch = 20 feet

Recorded in Book A & T Tracing Page 926

Receipt No. 24-05471

Drawn by: A.S.

Furnished to: HIBIKI ZHAO

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Anup Shrestha

For Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I ~~have~~ have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I ~~have~~ have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: *Devon Brophy*

Date: 06/18/2025

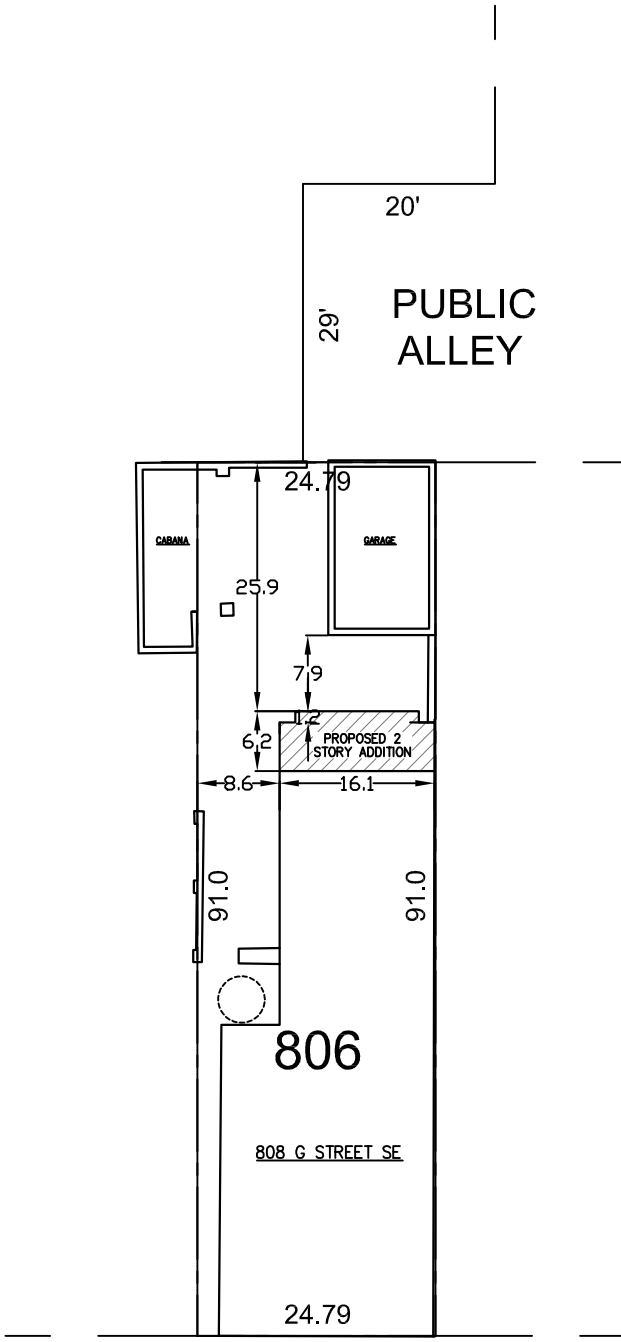
Printed Name: Devon Brophy Relationship to Lot Owner: Architect

If a registered design professional, provide license number ARC201099 and include stamp below.



SCALE: 1:20

SQUARE 926



G STREET, S.E.

SHEET LIST

A-000	COVER SHEET
A-001	DEMOLITION PLANS
A-002	PROPOSED PLANS
A-003	PROPOSED ELEVATIONS & WALL SECTION
A-004	REFLECTED CEILING PLANS & ELECTRICAL PLANS
0-001	PLUMBING RISER DIAGRAMS & DETAILS
M0001	MECHANICAL COVER SHEET
M0002	MECHANICAL PLAN
M0003	MECHANICAL DETAILS
E0003	ELECTRICAL RISER PANEL SCHEDULES
ESC-01	EROSION AND SEDIMENT CONTROL PLANS & NOTES
ESC-02	EROSION AND SEDIMENT CONTROL DETAILS
S-001	SPECS ON SHEET
S-100	FOUNDATION PLAN
S-200	FRAMING PLAN
S-201	ROOF FRAMING PLAN
S-300	FOUNDATION SECTIONS & DETAILS
S-400	FRAMING SECTIONS & DETAILS
S-500A	VERTICAL SUPPORTS SCH. AND NOTES
S-500B	VERTICAL SUPPORTS SCH. AND NOTES
S-600	BRACING PLAN
S-600A	BRACING SECTIONS & DETAILS

PROJECT NARRATIVE

THE SCOPE OF WORK IS THE REPLACEMENT OF AN EXISTING TWO STORY 16'-1 1/2" X 6'-2 1/2" REAR ADDITION. INTERIOR SCOPE OF WORK TO INCLUDE THE RECONFIGURATION OF A KITCHEN AND PRIMARY SUITE.

PIVS DATA & APPLICABLE CODES

ADDRESS: 808 G STREET SE, WASHINGTON, DC 20003 SSL 0926 0806 CLUSTER 26 WARD 6 ANC 6B SMD 6804 ZONE RF-1	2015 IBC Codes Title 12 DCMR, DC Construction Codes Supplement (2017) DCMR 12 DC Construction Code Supplement (2017) 2017 District of Columbia Building Code 2017 District of Columbia Fire Code 2017 District of Columbia Mechanical Code 2017 District of Columbia Plumbing Code 2017 District of Columbia Property Maintenance Code 2017 District of Columbia Green Construction Code 2017 District of Columbia Energy Conservation Code 2014 National Electric Code
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ZONING ANALYSIS - RF-1

CATEGORY	MAXIMUM/EXISTING	PROVIDED
MAX HEIGHT:	35'-0"	28'-3"
LOT OCCUPANCY: 60% MAX	2255 SF (LOT AREA) 1,487 SF (LOT COVERAGE), 65.9%	(65.8%) 1,486 SF
ALLOWABLE STORIES:	3/3	3 (NO CHANGE)
REAR YARD SETBACK:	20'-0"/25'-3"	25'-11"
FRONT YARD SETBACK:	RANGE OF EXISTING STRUCTURES	NO CHANGE
SIDE YARD SETBACK:	5'-0" ON FREE STANDING SIDES	COMPLIES

SYMBOL LEGEND

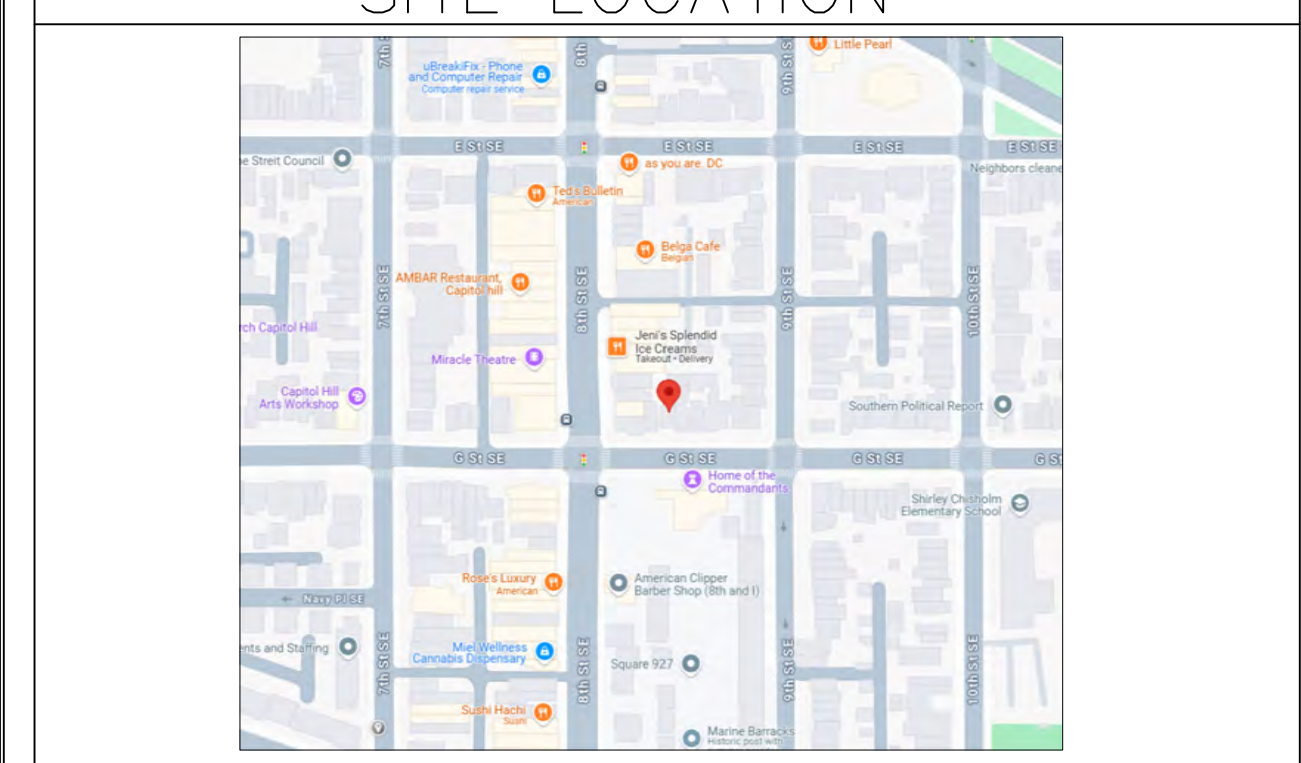
EXISTING DEMISING WALLS, THICKNESS, RATING & TYPE VARY. FIELD VERIFY AS NEEDED	=====	BUILDING SECTION	
NEW PARTITION, FRAMED FROM FLOOR TO THE FLOOR ABOVE, REFER TO WALL SCHEDULE FOR DETAILS	=====	INTERIOR ELEVATION	
WALL PARTITION TYPE			

PARTITION SCHEDULE

SYM.	CONSTRUCTION LEGEND	DESCRIPTION
A		NEW 6" WOOD STUDS SPACED AT 16" O.C. FROM FLOOR TO FRAMING ABOVE. INSTALL 1/2" GYPSUM WALL BOARD ON EACH SIDE OF STUDS. NOTE: USE WATER RESISTANT GYPSUM WALL BOARD @ BATHROOM WALLS, & KITCHEN WET WALLS. PROVIDE PROPER BLOCKING FOR ALL CABINETS, SHELVING, WALL HUNG APPLIANCES, WALL HUNG FIXTURE, & ANY OWNER SELECTED ACCESSORIES. SOUND BATT INSULATION SHOULD BE INSTALLED BETWEEN ALL STUDS AT ALL BATHROOMS
B		NEW 4" WOOD STUDS SPACED AT 16" O.C. FROM FLOOR TO FRAMING ABOVE. INSTALL 1/2" GYPSUM WALL BOARD ON EACH SIDE OF STUDS. NOTE: USE WATER RESISTANT GYPSUM WALL BOARD @ BATHROOM WALLS, & KITCHEN WET WALLS. PROVIDE PROPER BLOCKING FOR ALL CABINETS, SHELVING, WALL HUNG APPLIANCES, WALL HUNG FIXTURE, & ANY OWNER SELECTED ACCESSORIES. SOUND BATT INSULATION SHOULD BE INSTALLED BETWEEN ALL STUDS AT ALL BATHROOMS

GENERAL NOTE:
1. IF OWNER SELECTS TO INSTALL WALL TILES AT ANY AREAS, SUBSTITUTE GYPSUM BOARD WITH DURLOCK CEMENT BOARD BACKING
2. DIMENSIONS ARE TO FINISH FACE OF INTERIOR WALLS, CENTER-LINE OF WINDOWS AND FACE OF EXTERIOR SHEATHING OR MASONRY. FOR FRAMING DIMENSIONS, SUBTRACT 1/2" PER LAYER OF DRYWALL

SITE LOCATION



GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VISIT THE SITE, VERIFY EXISTING CONDITIONS AND DIMENSIONS NEEDED FOR THE PROJECT, PRIOR TO COMMENCING OF CONSTRUCTION AND REPORT ANY DISCREPANCIES OR UNCOVERED CONDITIONS TO THE ARCHITECT. NOTE THAT NO CLAIM FOR ADDITIONAL COSTS SHALL BE CONSIDERED DUE TO THE FAILURE OF EXAMINING EXISTING CONDITIONS WHICH MAY AFFECT NEW WORK.
- EACH CONTRACTOR, SUBCONTRACTOR AND TRADE SHALL BE FAMILIAR WITH THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING AND ANY OTHER SUBSEQUENT DRAWINGS AND ADDENDA.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPED FEDERAL, STATE AND LOCAL BUILDING CODES AND REQUIREMENTS OF ALL REGULATORY AUTHORITIES HAVING JURISDICTION.
- INSTALL AND APPLY ITEMS, MATERIALS, EQUIPMENT, FINISHES, ETC. INCLUDING THE PREPARATION OF SURFACES, IN STRICT ACCORDANCE WITH THE MANUFACTURERS PRINTED RECOMMENDATIONS AND INSTALLATION REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS FOR ALL RELATED TRADES AND SUBCONTRACTORS, INCLUDING OWNERS' REQUIREMENTS.
- ALL WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTIVE TRADES AND ASSOCIATIONS.
- ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, INSTRUCTIONS AND SPECIFICATIONS, INCLUDING CONNECTIONS TO ADJACENT MATERIALS.
- EXISTING AFFECTED WORK SHALL BE PREPARED TO MATCH EXISTING & TO MEET NEW CONDITIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING AREAS FROM DAMAGE.
- ALL REMOVED MATERIALS, EXCEPT AS THE OWNER MAY ELECT TO KEEP, SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
- REMOVE ALL RUBBISH AND CONSTRUCTION DEBRIS ON A DAILY BASIS, AND LEAVE THE CONSTRUCTION AREA BROOM CLEAN.
- A COMPLETE SET OF CONSTRUCTION DRAWINGS SHALL BE AT THE PROJECT SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE FOR HIS MATERIALS AND WORKMANSHIP FOR (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS, SCOPE OF WORK AND VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK DESCRIBED OR INDICATED IN THESE DOCUMENTS AND ALL WORK DEPENDANT UPON OR NECESSARY TO COMPLETE THIS WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER CONSISTENT WITH THE BEST STANDARDS OF THE TRADE INVOLVED AND BE OF ITEMS AND MATERIALS SUITED FOR THE PURPOSE INTENDED.
- TRADESMEN, CRAFTSMEN, INSTALLERS, FOREMEN, SUPERVISORS AND SUBCONTRACTORS SHALL BE SKILLED, EXPERIENCED AND LICENSED IF REQUIRED IN THE WORK THEY WILL BE PERFORMING.
- PROJECT CONSTRUCTION ITEMS TO BE NEW, UNLESS NOTED OTHERWISE. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS COMPLETE DESCRIPTIONS OF ITEMS INCLUDING DRAWINGS, TEST DATA, SAMPLES, COST AND SCHEDULE CHANGES ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION, ANY ITEM NOTED ON THE DRAWINGS THAT ARE NOT AVAILABLE OR WOULD CAUSE A TIME DELAY SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND THE ARCHITECT NOTIFIED.
- TYPICAL DETAILS AND GENERAL NOTES SHALL BE USED WHENEVER APPLICABLE U.N.O. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- DIMENSION LINES ARE TO THE FACE OF FINISH ON EXISTING AND NEW WORK, UNLESS NOTED AS FACE OF STUD OR MASONRY OR CENTERLINE OR OTHERWISE. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL REVISIONS TO THE DRAWINGS AND CHANGES WITH SCOPE OF WORK OR SCHEDULE REQUIRED BY GOVERNING AGENCIES, FIELD CONDITIONS, REGARDLESS OF EXTENT. ALL REVISIONS TO BE IN WRITING AS CHANGE ORDERS AND APPROVED PRIOR TO STARTING WORK.
- THE G.C. SHALL LAYOUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN OR OFF ALIGNED CORNERS.
- ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER SPECIFICATION AND AS REQUIRED BY THE CODE. ALL PARTITIONS TO BE FRAMED FROM EXISTING FINISH FLOOR TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL PARTITION DIMENSIONS ARE FROM FINISH FACE OF NEW WALL AND FINISH FACE OF EXISTING WALL OR EXPOSED SURFACE.
- THE CONTRACTOR SHALL USE METAL CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS DRYWALL PARTITIONS.
- ALL METAL TRIM ON GYPSUM BOARD PARTITIONS SHALL BE TYPE #200 SERIES AS MANUFACTURED BY U.S. GYPSUM OR EQUAL.
- ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY OR AS STATED IN A PARTICULAR FIRE RATED ASSEMBLY PER THAT DETAIL.
- GYPSUM BOARD AT TOILETS, SINKS, LAVATORIES OR KITCHENS SHOULD BE OF WATER RESISTANT TYPE.
- THE G.C. SHALL BE RESPONSIBLE FOR ALL TAPING AND SPACKLING OF NEW GYPSUM BOARD, AS WELL AS, ALL PATCHING AND REPAIRING OF EXISTING WALLS, CEILING, AND COLUMNS OR ANY SURFACED DAMAGED DURING DEMOLITION.
- G.C. IS RESPONSIBLE FOR CAPPING ALL EXISTING EXPOSED PIPING NOT BEING USED BEYOND THE FINISH SURFACE.
- PROVIDE ALL NECESSARY ACCESS DOORS (AS REQUIRED BY MEP TRADES) FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATIONS TO BE APPROVED BY THE ARCHITECT.
- G.C. SHALL FURNISH AND INSTALL FIREPROOF BLOCKING IN CEILINGS OR PARTITIONS.
- G.C. IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING REQUIRED FOR EQUIPMENT, PLUMBING, CABINETS, & TOILET ACCESSORIES. G.C. TO COORDINATE REQUIREMENTS WITH ALL TRADES.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED TO RECEIVE NEW FINISH PER THE FINISH SCHEDULE OR OTHERWISE INDICATED ON THE PLANS.
- CONTRACTOR TO PROVIDE ALL MATERIAL AND LABOR REQUIRED TO MAKE FINAL CONNECTIONS TO ALL UTILITIES AND SYSTEMS, INCLUDING ITEMS SUPPLIED BY OWNER, SO THAT ALL UTILITIES AND SYSTEMS ARE FULLY FUNCTIONAL, UNLESS SPECIFIED OTHERWISE.
- ALL OPERATING COMPONENTS (SWITCHES, THERMOSTATS, ETC.) LOCATED ON WALLS, MUST BE 48" A.F.F. TO THE OPERATING BUTTONS OR UNIT.
- THIS BUILDING IS NOT SPRINKLERED

DC ENERGY CODE NOTES

- THIS PROJECT UTILIZES A PRESCRIPTIVE ENERGY COMPLIANCE PATHWAY METHOD.
 - An approved permanent certificate shall be completed by the builder and posted on a wall in the space where the furnace is located, a utility room or on approved location inside the building. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment.
 - ALL WINDOWS AND DOORS SHALL HAVE A MINIMUM 0.30 U FACTOR AND SHGC VALUE OF 0.40 PER TABLE R402.1.2. WINDOWS AND SLIDING GLASS DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.3 CFM/PSF. SWINGING DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.5 CFM/PSF PER 2017 DC ENERGY CONSERVATION CODE SECTION R402.4.3.
 - PER 2017 DC ENERGY CONSERVATION CODE SECTION 402.4.1.2 TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE APPROVED THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. APPROVED SAMPLING PROTOCOLS APPROVED BY THE CODE OFFICIAL MAY BE USED. AIR LEAKAGE TEST TO BE PERFORMED SO AS NOT TO EXCEED 3 ACH50.
 - ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
 - ALL MECHANICAL DUCTS TO BE INSULATED TO A MINIMUM R-8, PER CODE REQUIREMENTS. ALL DUCTS TO BE SEALED ACCORDING TO THE METHODS PER IROM1601.4.1.
 - ALL DUCT JOINTS, SEAMS, AND CONNECTIONS TO BE SEALED PER REQUIREMENTS SET FORTH IN SMAACNA CLASS A REGARDLESS OF PRESSURE CLASS.
 - AIR HANDLERS TO HAVE A MAXIMUM LEAKAGE RATE OF 2% PER R403.2.1.
 - Duct Leakage Testing- Maximum Leakage - The total leakage of the ducts, where measured in accordance with Section R403.3.3, shall be as follows: 1. Rough-in test: The total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area where the air handler is installed at the time of the test. Where the air handler is not installed at the time of the test, the total leakage shall be less than or equal to 3 cubic feet per minute (85 L/min) per 100 square feet (9.29 m2) of conditioned floor area. 2. Postconstruction test: Total leakage shall be less than or equal to 4 cubic feet per minute (113.3 L/min) per 100 square feet (9.29 m2) of conditioned floor area.
 - PER 2017 DC ENERGY CONSERVATION CODE R403.4.1 AND R403.4 ALL EXTERIOR LINE SET PIPING WILL HAVE ARMAFLEX SHIELD CONTINUOUS COIL PIPE INSULATION INSTALLED FROM THE FACE OF UNIT TO THE EXTERIOR WALL AND POINT OF ENTRY INTO THE INTERIOR. THIS MATERIAL PROVIDES A MINIMUM R VALUE OF R 3.3.
 - PER 2017 DC ENERGY CONSERVATION CODE SECTION R403.5.3 ALL HOT WATER PIPES ARE TO BE INSULATED WITH A MINIMUM R-3 VALUE.
 - ALL EXHAUST VENTS TO BE INSTALLED WITH GRAVITY DAMPERS PER 2017 DC ENERGY CONSERVATION CODE R403.6.
 - PER 2017 DC ENERGY CONSERVATION CODE R302.1 THE INTERIOR DESIGN TEMPERATURE USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE NOT GREATER THAN 72 DEGREES F FOR HEATING AND NOT LESS THAN 75 DEGREES F FOR COOLIN
 - UNDER DOPC 424.5 THE HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 120 DEGREES FAHRENHEIT BY A WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125-3, EXCEPT WHERE SUCH PROTECTION IS OTHERWISE PROVIDED BY A COMBINATION TUB/SHOWER VALVE IN ACCORDANCE WITH SECTION 424.3.

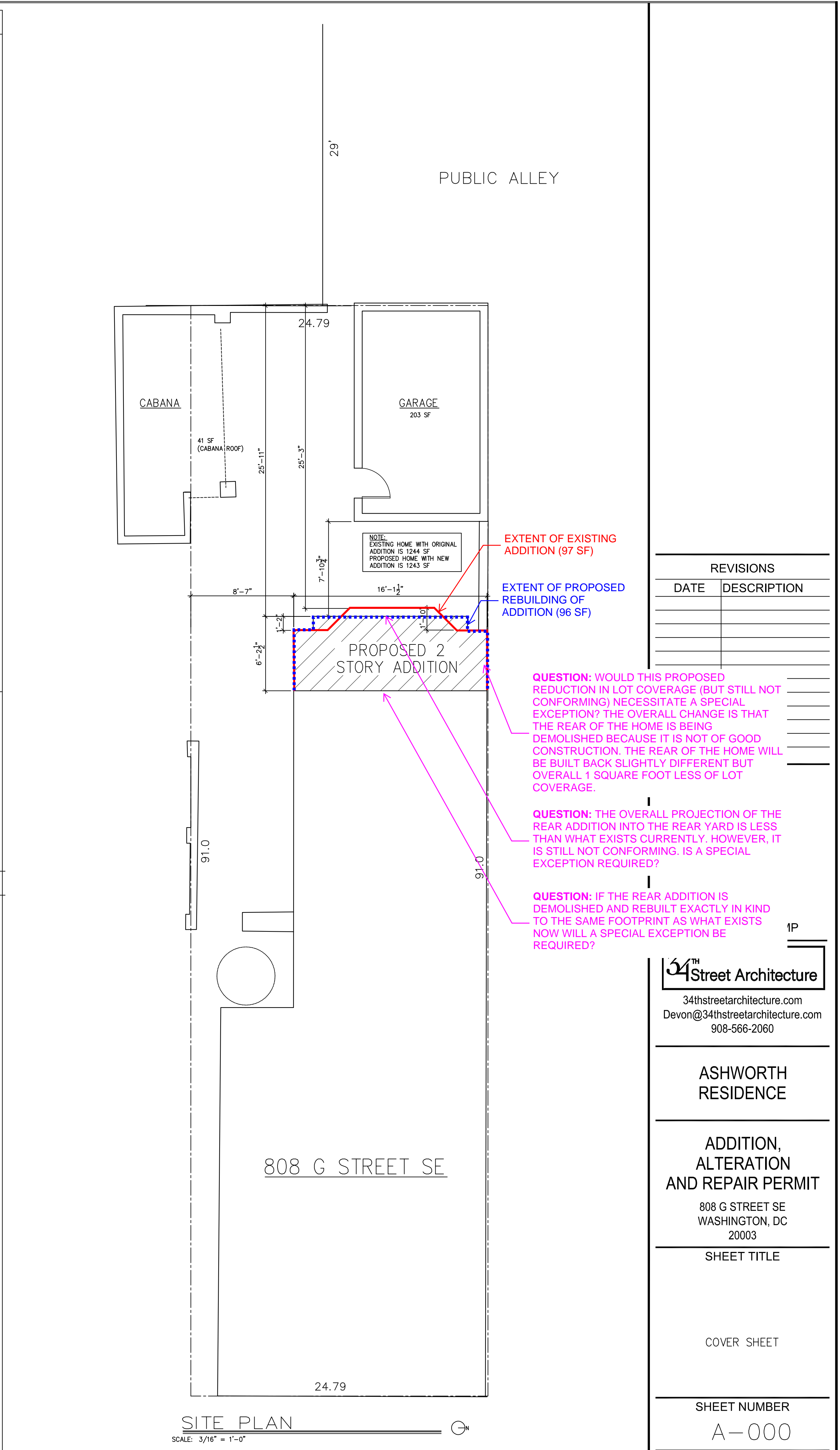
TABLE R402.4.1

TABLE R402.4.1 AIR BARRIER AND INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Shanks or joints in the air barrier shall be sealed.	Air permeable insulation shall not be used as a weathertight air barrier. All ceiling, wall, floor and area insulation shall exceed Class I insulation per the IBC®'s classification or, alternatively, Class II for surfaces that contain a layer of continuous, air impermeable insulation - R5.
Ceilings/joints	The air barrier in any dropped ceiling/joint shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/joint shall be aligned with the air barrier.
Walls	The junction of the foundation and all plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Curtain walls corners and heads of frame walls shall be sealed by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door frame and framing, and skylight and framing shall be sealed. Doors adjacent to unconditioned space or exterior conditions shall be made substantially air-tight with weatherstripping or equivalent gasket.	Continuous exterior insulation shall continue over window and door head/casings. Skylight and window chases through unconditioned attic spaces must be insulated to exterior wall values per table 402.1.2.
Rim joists	Rim joists shall include continuous air barrier.	Rim joists shall be insulated per Table 402.1.2.
Floors (including above garage and conditioned floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of exterior sheathing, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	Duct shafts or chases next to exterior or unconditioned space shall be insulated.
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation neatly conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	Walls next to unconditioned garage space shall be insulated.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring	Seal any plumbing or wiring that penetrates the building envelope.	Wall insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation neatly conforms to available space shall extend behind piping and wiring.
Showers/tubs on exterior walls	The air barrier installed at exterior walls adjacent to showers and tubs shall extend there from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
Common wall separating dwelling units	Air barrier is installed in common wall between dwelling units.	
HVAC register boxes	HVAC register boxes that penetrate building thermal envelope shall be sealed to the interior or drywall.	
Concealed sprinklers	When required to be sealed, concealed sprinklers shall only be sealed in a manner that is unobscured by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the sprinkler cover plates and walls or ceiling.	
Parties	An air barrier shall be installed on friction walls.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

MECHANICAL GENERAL NOTES

- Per 2017 DC ENERGY CONSERVATION CODE R403.2.2 and 2017 DC MECHANICAL CODE all duct seams, and connections shall be constructed as specified in SMAACNA HVAC Duct Construction Standards—Metal and Flexible and NAIMA Fibrous Glass Duct Construction Standards. All joints, longitudinal and transverse seams and connections in ductwork shall be securely fastened and sealed with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric systems, liquid sealants or tapes. Tapes and mastics used to seal fibrous glass ductwork shall be listed and labeled in accordance with UL 181A and shall be marked "181 A-P" for pressure-sensitive tape, "181 A-M" for mastic or "181 A-H" for heat-sensitive tape. Tapes and mastics used to seal metallic and flexible air ducts and flexible air connectors shall comply with UL 181B and shall be marked "181 B-FX" for pressure-sensitive tape or "181 B-M" for mastic. Duct connections to flanges of air distribution system equipment shall be sealed and mechanically fastened. Mechanical fasteners for use with flexible nonmetallic air ducts shall comply with UL 181B and shall be marked "181 B-C." Closure systems used to seal all ductwork shall be installed in accordance with the manufacturer's instructions.
- Building framing cavities shall not be used as ducts or plenums.
- Testing shall be conducted by an approved third party. A written report of the result of the test shall be signed by the party conducting the test and provided to the code official before issuance of the certificate of occupancy or final inspection. Ducts shall be pressure tested to determine air leakage by one of the following methods:
 - Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
 - Postconstruction test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.



PUBLIC ALLEY

EXTENT OF EXISTING ADDITION (97 SF)

EXTENT OF PROPOSED REBUILDING OF ADDITION (96 SF)

QUESTION: WOULD THIS PROPOSED REDUCTION IN LOT COVERAGE (BUT STILL NOT CONFORMING) NECESSITATE A SPECIAL EXCEPTION? THE OVERALL CHANGE IS THAT THE REAR OF THE HOME IS BEING DEMOLISHED BECAUSE IT IS NOT OF GOOD CONSTRUCTION. THE REAR OF THE HOME WILL BE BUILT BACK SLIGHTLY DIFFERENT BUT OVERALL 1 SQUARE FOOT LESS OF LOT COVERAGE.

QUESTION: THE OVERALL PROJECTION OF THE REAR ADDITION INTO THE REAR YARD IS LESS THAN WHAT EXISTS CURRENTLY. HOWEVER, IT IS STILL NOT CONFORMING. IS A SPECIAL EXCEPTION REQUIRED?

QUESTION: IF THE REAR ADDITION IS DEMOLISHED AND REBUILT EXACTLY IN KIND TO THE SAME FOOTPRINT AS WHAT EXISTS NOW WILL A SPECIAL EXCEPTION BE REQUIRED?

REVISIONS	
DATE	DESCRIPTION

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908-566-2060

ASHWORTH RESIDENCE

ADDITION, ALTERATION AND REPAIR PERMIT
808 G STREET SE
WASHINGTON, DC 20003

SHEET TITLE

COVER SHEET

SHEET NUMBER
A-000
SHT. 1 OF 6

