

November 5, 2024

VIA EMAILED PDF

George R. Bott
Anthony Wilder Design/Build, Inc.
7913 MacArthur Boulevard
Cabin John, MD 20818
georgeb@anthonywilder.com

**Re: 3201 44th Street, NW (Square 1626, Lot 0011),
24-Z-PDRM-00144**

Dear Mr. Bott,

This letter is to confirm the substance of the zoning Preliminary Design Review Meeting (“PDRM”) held on August 5, 2024, regarding property located at 3201 44th Street, NW (Square 1626, Lot 0011).

The property is zoned R-1B/WH and is improved with an existing detached two-story principal building in single-household residential use and a one-story accessory building. The property measures 5,000 square feet in land area and per D-703.1(a) the R-1B/WH zone permits a maximum lot occupancy of 2,000 square feet on a lot between five thousand square feet (5,000 sq. ft.) and six thousand six hundred and sixty-seven square feet (6,667 sq. ft.).

The property is currently nonconforming for lot occupancy at 48.5% or 2,426 square feet. The project as proposed would convert the existing first floor sunroom to a family room and mud room and would include the addition of a new second floor addition over the sunroom that would contain two bathrooms.

Per C-202.2, “Enlargements or additions may be made to the structure; provided that the addition or enlargement itself shall: (a) Conform to the use and development standards; (b) Neither increase nor extend any existing, nonconforming aspect of the structure; nor create any new nonconformity of structure and addition combined; and (c) Any enlargement or addition not meeting paragraphs (a) and (b) must obtain relief from the applicable development standards.”

As shown on the attached drawings that we reviewed during the PDRM, the conversion of the sunroom would not increase or extend the existing nonconforming lot occupancy and the proposed second floor addition would not result in a nonconforming lot occupancy for the property at the second floor at 38% or 1,907 square feet. Furthermore, the proposal would not result in the property exceeding the maximum permitted density of 4,000 square feet of gross floor area as outlined in D-701.1

Accordingly, if all other applicable zoning requirements are met, then when you file the plans for a building permit with DOB, this office will approve the drawings that are consistent with the information noted above.

Please feel free to contact me if you have any further questions or need additional information.

Sincerely,

Kathleen A. Beeton

Kathleen A. Beeton, AICP
Zoning Administrator

Zoning Technician: Ernesto Warren

Attachments:

PDRM Drawings dated 9/3/2024

DISCLAIMER: This letter is issued in reliance upon, and therefore limited to, the questions asked, and the documents submitted in support of the request for a determination. The determinations reached in this letter are made based on the information supplied, and the laws, regulations, and policy in effect as of the date of this letter. Changes in the applicable laws, regulations, or policy, or new information or evidence, may result in a different determination. This letter is **NOT** a "final writing", as used in Section Y-302.5 of the Zoning Regulations (Title 11 of the District of Columbia Municipal Regulations), nor a final decision of the Zoning Administrator that may be appealed under Section Y-302.1 of the Zoning Regulations, but instead is an advisory statement of how the Zoning Administrator would rule on an application if reviewed as of the date of this letter based on the information submitted for the Zoning Administrator's review. Therefore, this letter does **NOT** vest an application for zoning or other DOB approval process (including any vesting provisions established under the Zoning Regulations unless specified otherwise therein), which may only occur as part of the review of an application submitted to DOB.

Dean Residence

MATERIAL SYMBOLS

EARTHWORKS:	EARTH / COMPACTED FILL	POROUS FILL / GRAVEL	
CONCRETE:	CAST - IN - PLACE	PRECAST CONCRETE	
MASONRY:	BRICK	CONCRETE BLOCK	
METAL:	ALUMINUM	STEEL / OTHER METALS	BRASS / BRONZE
WOOD:	FINISHED	ROUGH	BLOCKING
GLASS:	GLASS BLOCK	GLASS	GLASS ELEVATION
INSULATION:	BATT / LOOSE FILL	RIGID	SPRAY / FOAM
FINISHES:	METAL LATH & PLASTER	CARPET & PAD	GYPSUM WALLBOARD
ELEVATION INDICATIONS:	BRICK	CERAMIC TILE	CONCRETE / PLASTER

DRAWING SYMBOLS

	DETAIL NUMBER		FLOOR NO. EL.		SPOT ELEVATION SECTION OR ELEVATION
	DETAIL REFERENCE		SPOT ELEVATION SECTION OR ELEVATION		ELEVATION CHANGE
	DRAWING NUMBER		DOOR NUMBER		WINDOW TYPE
	SECTION REFERENCE		CUSTOM MILLWORK		REVISION NUMBER
	ELEVATION NUMBER		SHEET NOTES		APPLIANCE NUMBER
	BUILDING ELEVATION DRAWING NUMBER		PROPERTY LINE		
	INTERIOR ELEVATION DRAWING NUMBER		MATCH LINE		
	LAYOUT NUMBER		CONSTRUCTION ABOVE		
	MULTIPLE INTERIOR ELEVATION		HIDDEN CONSTRUCTION		
	ELEVATION NUMBER				

ZONING ANALYSIS

ZONE DISTRICT: R-1B/WH

	ALLOWABLE	PROPOSED
HEIGHT	40'	EXISTING UNCHANGED
STORIES	3	3
LOT OCCUPANCY	LOT: 3,688 SQ FT ALLOWED OCCUPANCY: 2,000 SQ FT EXISTING OCCUPANCY: 2,246 SQ FT PROPOSED OCCUPANCY: 2,246 SQ FT	2,426 SQ FT (EXISTING UNCHANGED)
GROSS FLOOR AREA (GFA)	ALLOWED: 4,000 SQ FT EXISTING: 3,530 SQ FT PROPOSED: 3,970 SQ FT	3,970 SQ FT
FRONT SETBACK	NO LESSER OR GREATER THAN EXISTING SETBACKS ON SAME BLOCK	NO CHANGE
REAR YARD	25'	22' - 7"
SIDE YARD	8'	NO CHANGE
PERVIOUS SURFACE	50% (2,500 SQ FT)	NO CHANGE

LIST OF DRAWINGS

G-001	Cover Sheet
CIV100	Existing Conditions Plan
A-101	1st Floor Plan Existing
A-102	1st Floor Plan
A-103	2nd Floor Plan - Existing
A-104	2nd Floor Plan
A-201	Elevations
A-202	Elevations
A-901	Renderings

PROJECT SUMMARY

Project Location: 3201 44th Street, NW Washington, DC 20016
 Lot Description: Lot 0011 Square 1626
 Site Area: 5,000 sq. ft.
 Owner: Amy and Michael Dean

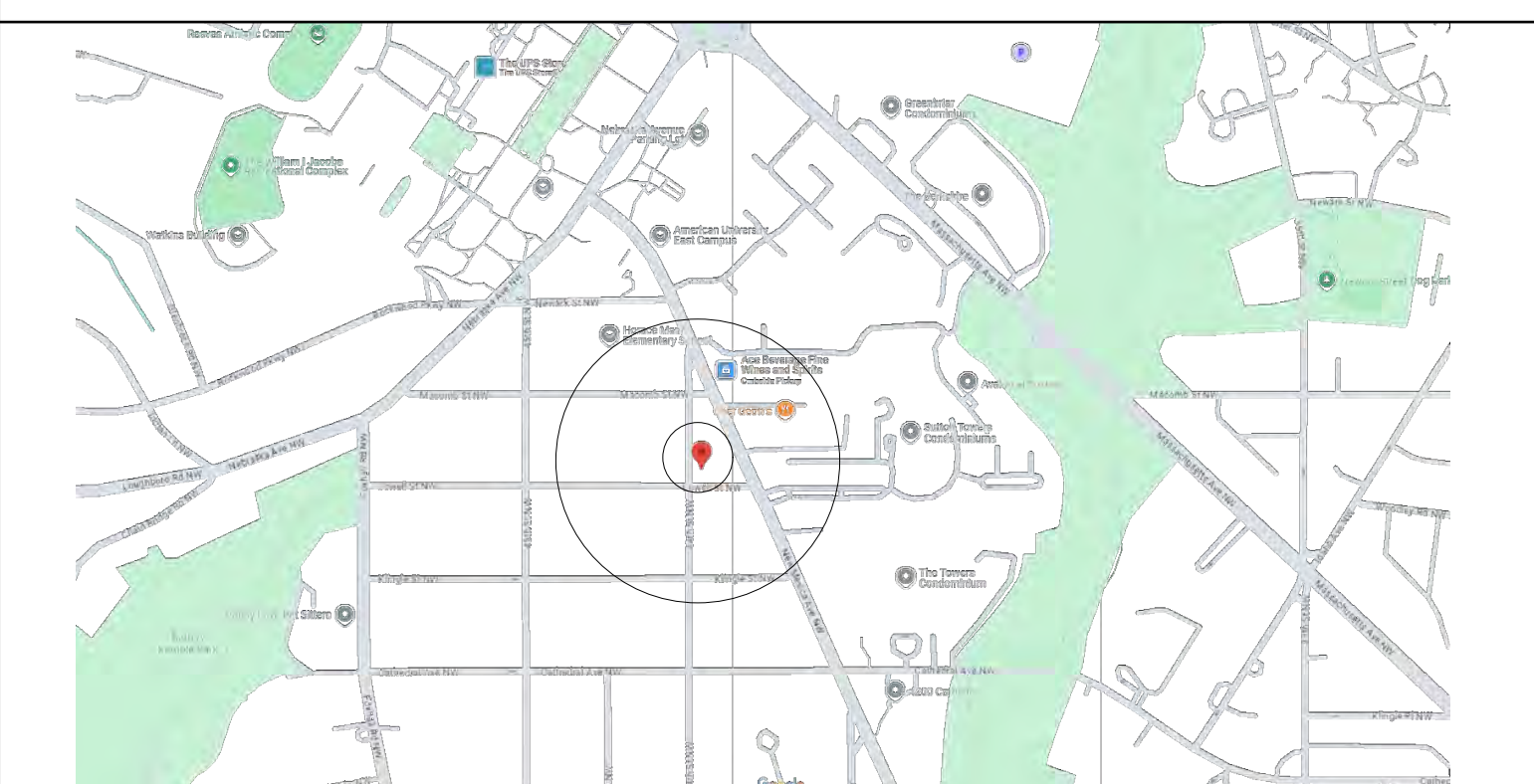
SCOPE OF WORK

1. Remodel existing sunroom into family room and mudroom. Add second floor over sunroom reworking primary bathroom and closet and adding an on suite bath.

CONTRACTOR INFO

GENERAL CONTRACTOR:
 ANTHONY WILDER DESIGN BUILD
 7913 MACARTHUR BLVD.
 CABIN JOHN, MD 20818
 (301) 907-0100
 LICENSE #5400818

VICINITY MAP



CODE INFO

DESIGNED PER IRC 2015 AS AMENDED BY THE DC RESIDENTIAL CODE SUPPLEMENT OF 2017 (12-9 DCMR); ASME/A17.1 - 2013 SAFETY CODE FOR ELEVATOR AND ESCALATORS; 2017 DCMR ENERGY CONSERVATION CODE FOR RESIDENTIAL; 2014 NATIONAL ELECTRICAL CODE; AND 2013 ASHRAE 90.1

Ground snow load	25 psf
Wind speed (3 sec. gust method)	90 mph
Frost depth	30 in.
Residential Seismic Design Category	A
Weathering	M
Termite infestation probability	moderate to heavy
Ice shield underlayment required	no
Flood hazards (entry into National Flood Insurance Program)	11/15/1985
Winter Design Temperature	17°F
Air freezing index	50°F
Mean annual temperature	55°F

ZONING DETERMINATION SET

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Schematic Design Set Aug 2, 2024
 Zoning Determination Set Sept 3, 2024

DRAWN BY:
 DATE

Cover Sheet

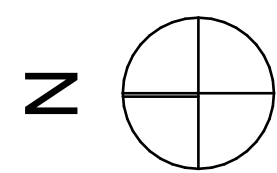
G-001

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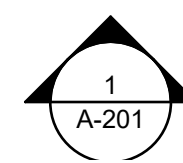
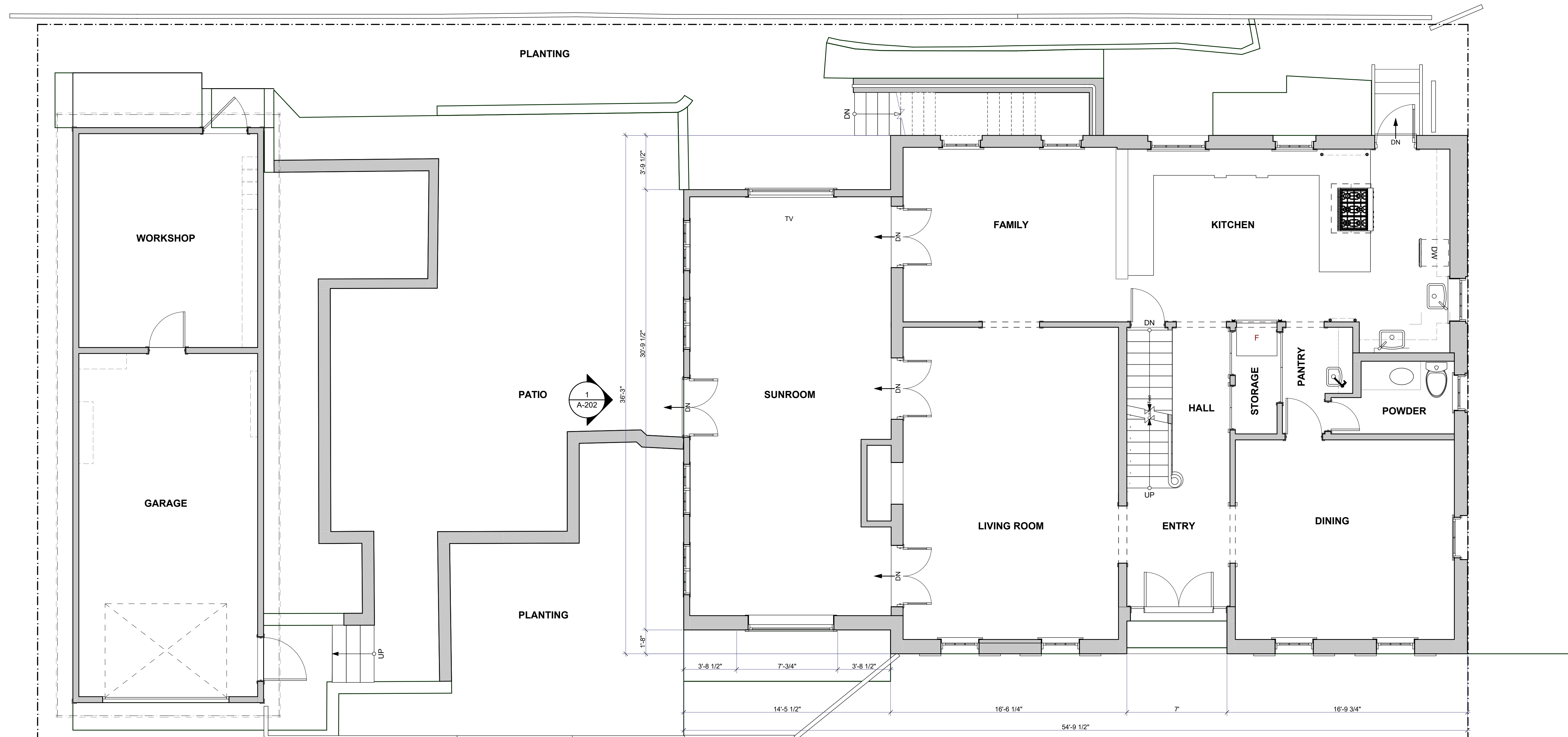
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1 1st Floor - Existing
SCALE: 1/4" = 1'-0"



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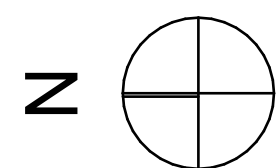
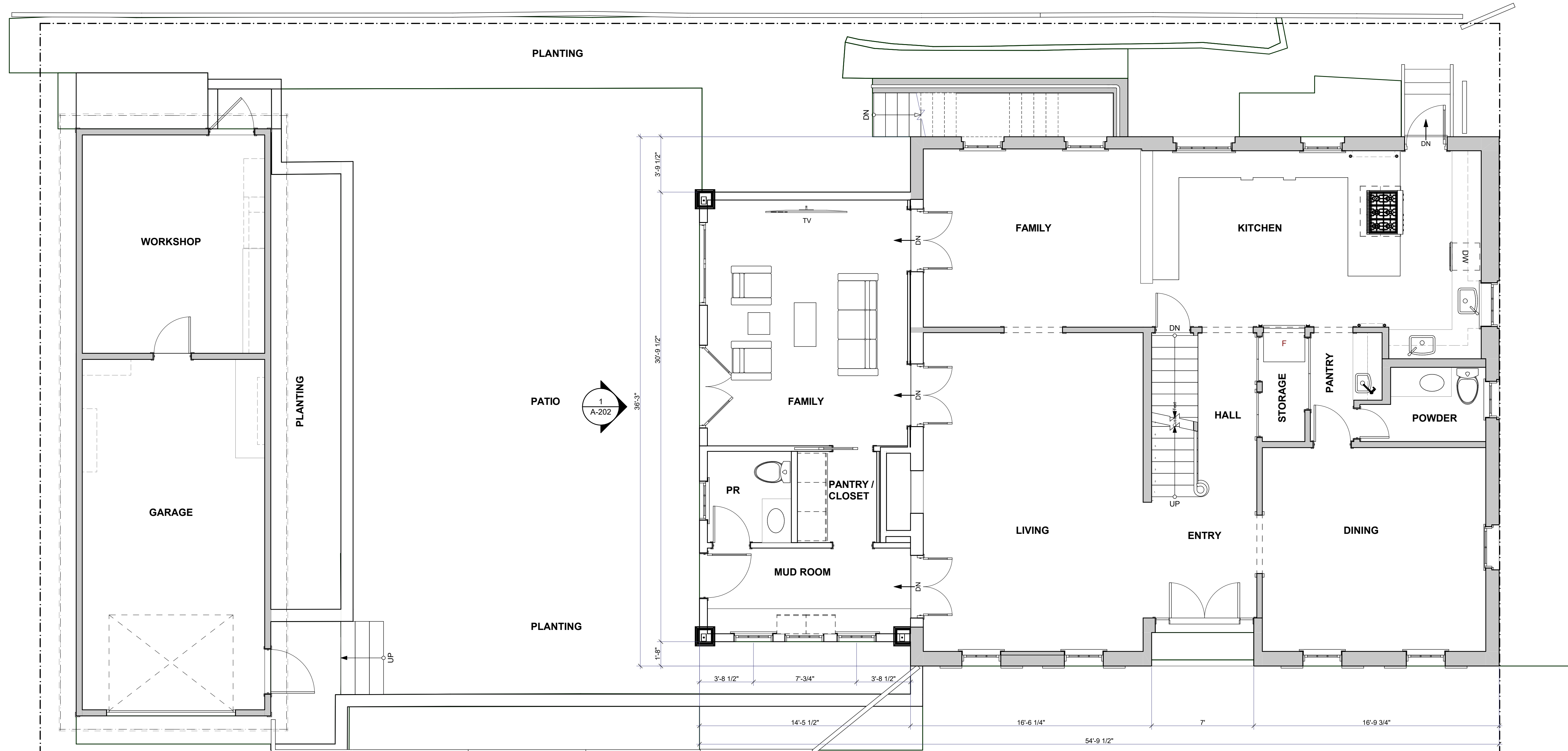
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1st Floor Plan
Existing

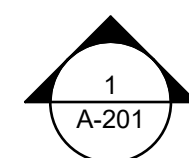
A-101

ZONING DETERMINATION SET

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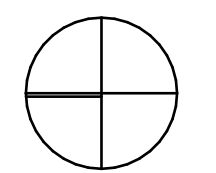


1 1st Floor Plan - Proposed
SCALE: 1/4" = 1'-0"



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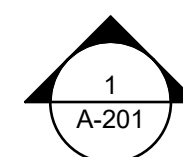
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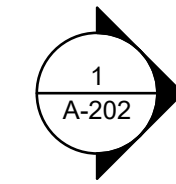
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2nd Floor - Existing

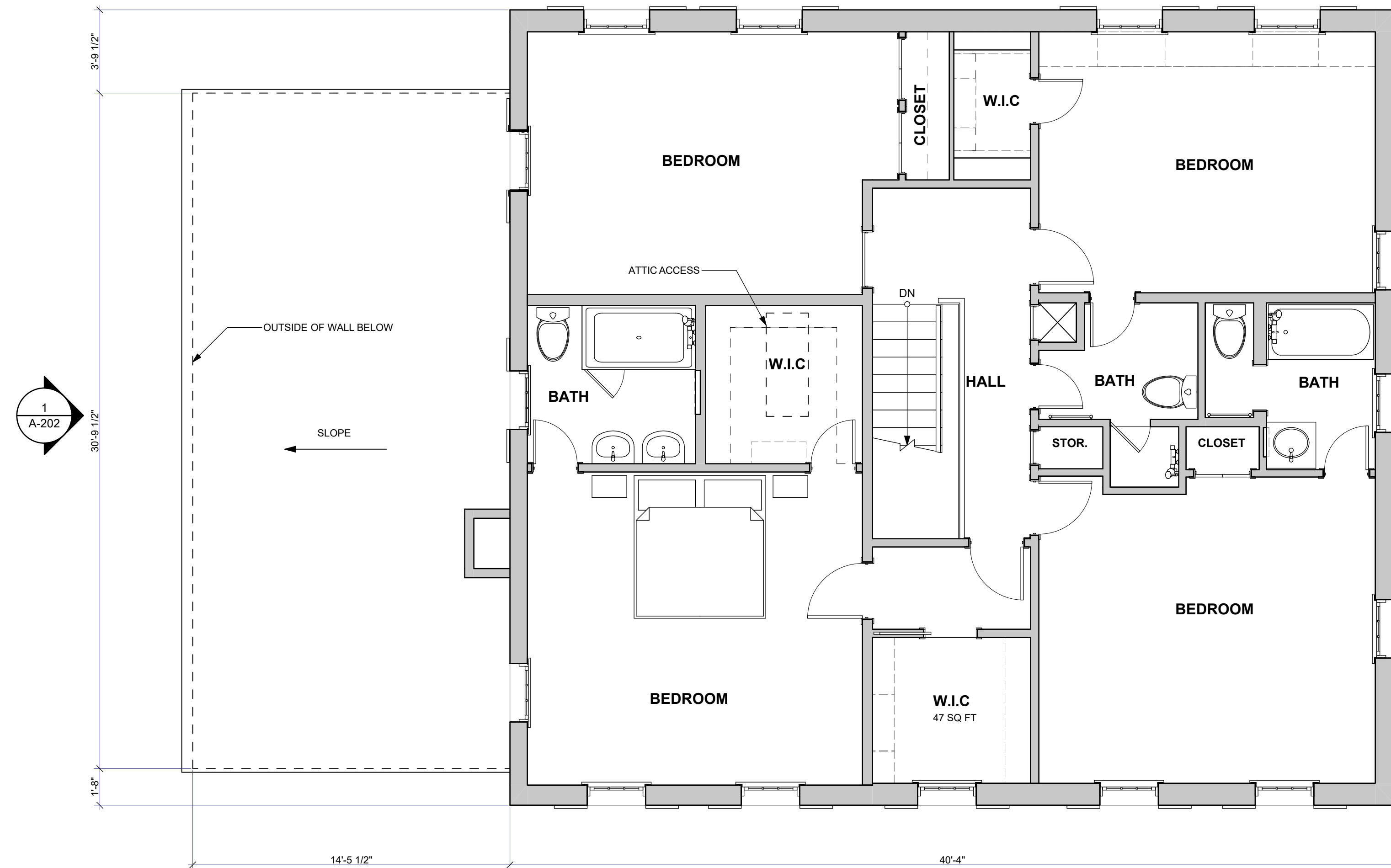
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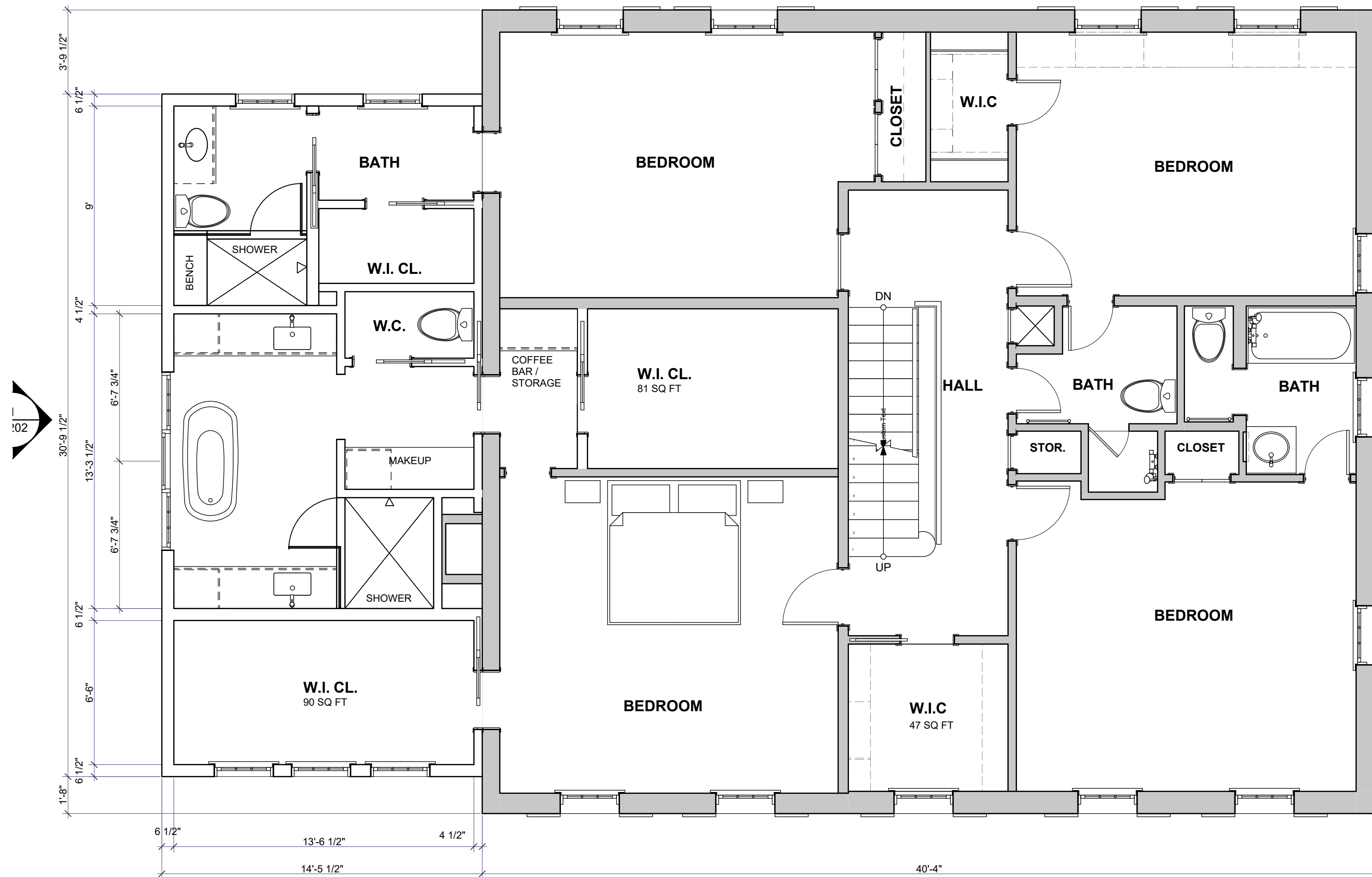
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A-201



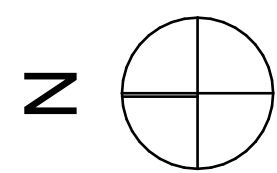
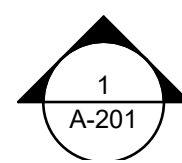
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A-202



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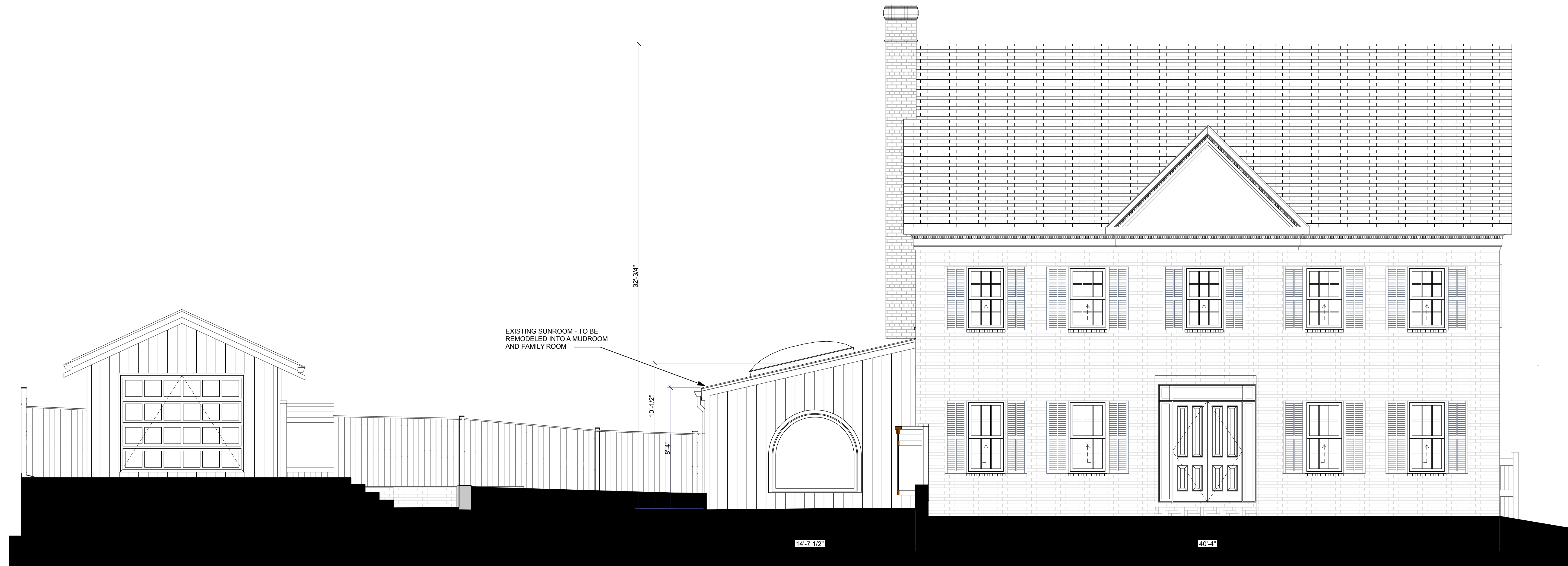


2nd Floor Plan - Proposed
SCALE: 1/4" = 1'-0"

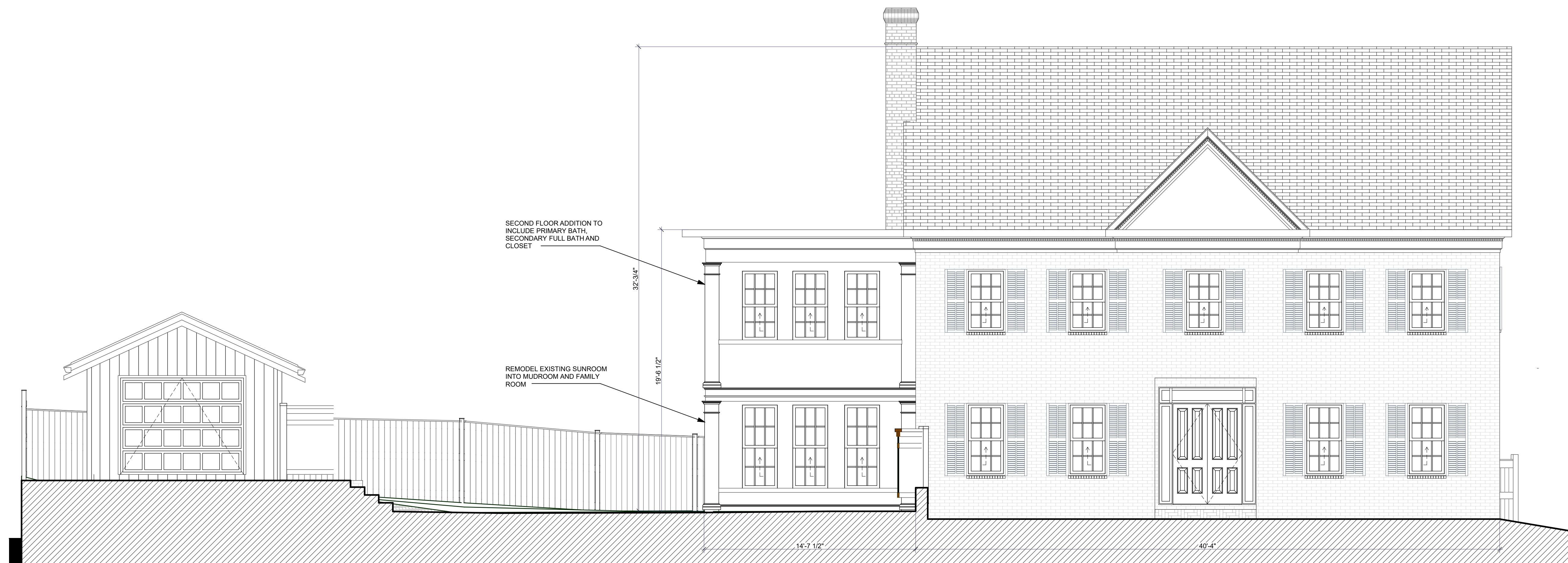


1

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1
A-201 ELEVATION FRONT EXISTING
SCALE: 1/4" = 1'-0"



2
A-201 ELEVATION FRONT PROPOSED
SCALE: 1/4" = 1'-0"



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LICENSE NO. 19884

EXPIRATION DATE: 07.03.25

Schematic Design Set	###
Design Development Set	###
Construction Set	###
DD/LOC Set	###
Permit Set	###
CA Set	###
CD Set	###

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DATE: 9/3/2024

Elevations

A-201

SCHEMATIC DESIGN SET

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2
A-202
ELEVATION SIDE EXISTING
SCALE: 1/4" = 1'-0"



1
A-202
ELEVATION SIDE PROPOSED
SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN SET



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Design Development Set	###
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Elevations

A-202

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1
A-901 Rendering Side - Existing
SCALE: 1/4" = 1'-0"



2
A-901 Rendering Side - Proposed MASSING LAYOUT
SCALE: 1/4" = 1'-0"

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Renderings

A-901