

July 18, 2024

**VIA EMAILED PDF**

Peter Nettelbeck

[pnettelbeck@gmail.com](mailto:pnettelbeck@gmail.com)

**Re: 3238 Rodman ST NW (Square 2062, Lot 0053), 24-Z-PDRM-00057**

Dear Mr. Nettelbeck,

This letter will confirm the substance of your meeting with my staff on February 12, 2024. The purpose of this meeting was to discuss potential zoning issues for a proposed 1-story addition over the existing building footprint at the rear of the property. The property, 3238 Rodman St NW, is located in the R-2 zone.

Although there are many existing nonconforming aspects related to the existing single-family dwelling, the proposed plan to add a second-floor rear addition complies with the applicable zoning regulations, as follows:

**1) Lot Occupancy: 40% allowed; 44% existing.**

You will not need a special exception for lot occupancy because the lot occupancy of the proposed addition is less than 40% and is within the existing footprint, and therefore does not extend the nonconformity. According to C-202.2:

“Enlargements or additions may be made to the structure; provided that the addition or enlargement itself shall:

- a. Conform to the use and development standards;
- b. Neither increase nor extend any existing, nonconforming aspect of the structure; nor create any new nonconformity of structure and addition combined; and
- c. Any enlargement or addition not meeting paragraphs (a) and (b) must obtain relief from the applicable development standards.”

**2) Side Yard: 8 ft required; 6.8 ft existing on west side of lot.**

You will not need a special exception for the side yard because the proposed addition is placed 10.3 ft from the lot line and is within the existing footprint, and therefore does not extend the nonconformity. According to C-202.2:

“Enlargements or additions may be made to the structure; provided that the addition or enlargement itself shall:

- a. Conform to the use and development standards;
- b. Neither increase nor extend any existing, nonconforming aspect of the structure; nor create any new nonconformity of structure and addition combined; and
- c. Any enlargement or addition not meeting paragraphs (a) and (b) must obtain relief from the applicable development standards.”

**3) Rear Yard: 20 ft required; 9 ft existing.**

You will not need a special exception for the rear yard because the proposed addition is within the existing building footprint and the home was built prior to May 12, 1958. According to D-207.3:

“In the case of a building existing on or before May 12, 1958, an extension or addition may be made to the building into the required rear yard; provided, that the extension or addition shall be limited to that portion of the rear yard included in the building area on May 12, 1958.” According to HistoryQuest the existing structure was built September 6, 1948.

**4) Pervious surface: 30% required; 23% existing.**

You will not need a special exception for pervious surface because the lot occupancy is not increasing by 10% or more. According to C-501.2:

“The minimum pervious surface percentage requirement shall be applicable only in conjunction with the following:

- a. The construction of a new principal structure;
- b. An addition to a principal or accessory structure, other than a historic resource, that increases the existing lot occupancy at the time of building permit application by ten percent (10%) or more;
- c. The construction of a new accessory structure that increases the existing lot occupancy at the time of building permit application by ten percent (10%) or more; or
- d. An addition to a historic resource that increases the existing lot occupancy at the time of building permit application by twenty-five percent (25%) or more.”

Based on this information you will be able to build this addition as a matter of right. Accordingly, when you file the plans for a building permit, my office will approve the drawings that are consistent with the information noted above.

Please contact me if you have further questions.

Sincerely,

*Kathleen A. Beeton*

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Kathleen A. Beeton, AICP  
Zoning Administrator

Attachments:

- Plat
- PDRM Plan Set dated January 10, 2024

Zoning Technician: Kwasi Cook

DISCLAIMER: This letter is issued in reliance upon, and therefore limited to, the questions asked, and the documents submitted in support of the request for a determination. The determinations reached in this letter are made based on the information supplied, and the laws, regulations, and policy in effect as of the date of this letter. Changes in the applicable laws, regulations, or policy, or new information or evidence, may result in a different determination. This letter is **NOT** a "final writing", as used in Section Y-302.5 of the Zoning Regulations (Title 11 of the District of Columbia Municipal Regulations), nor a final decision of the Zoning Administrator that may be appealed under Section Y-302.1 of the Zoning Regulations, but instead is an advisory statement of how the Zoning Administrator would rule on an application if reviewed as of the date of this letter based on the information submitted for the Zoning Administrator's review. Therefore, this letter does **NOT** vest an application for zoning or other DOB approval process (including any vesting provisions established under the Zoning Regulations unless specified otherwise therein), which may only occur as part of the review of an application submitted to DOB.

DISTRICT OF COLUMBIA GOVERNMENT  
OFFICE OF THE SURVEYOR

Washington, D.C., January 8, 2024

Plat for Building Permit of :

SQUARE 2062 LOT 53

Scale: 1 inch = 20 feet

Recorded in Book 124 Page 122

Receipt No. 24-01427A

Drawn by: M.G.

Furnished to: PETER O NETTELBECK

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

\_\_\_\_\_  
Surveyor, D.C.



I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application \_\_\_\_\_; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
  - 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
  - 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
  - 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
  - 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
- The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature:

Date: 1/10/2024

Printed Name: Peter Nettelbeck Relationship to Lot Owner: Agent

If a registered design professional, provide license number ARC103274 and include stamp below.

SQUARE 2062

ZONE: R-2  
EX. USE: SINGLE FAMILY RESIDENCE  
LOT AREA: 4500 SF

EX. SINGLE FAMILY PRIMARY DWELLING TO REMAIN 1,978.9 SF



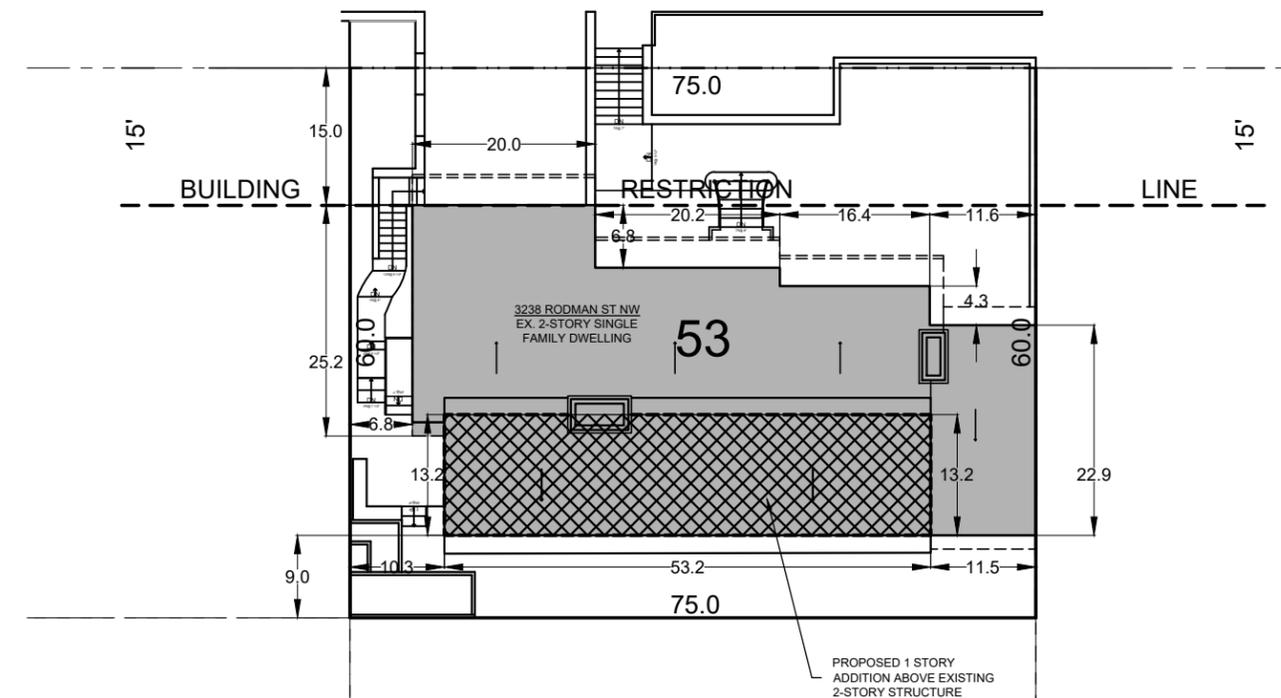
PROPOSED 1 STORY ADDITION OVER EXISTING 2-STORY STRUCTURE 700.0 SF



LOT OCCUPANCY: 1,978.9 SF, 44.0% (40% ALLOWED)

PERVIOUS SURFACE 1,070.1 SF, 23.8% (30% REQUIRED)

RODMAN STREET, N.W.



PROPOSED 1 STORY ADDITION ABOVE EXISTING 2-STORY STRUCTURE

3321 ROWLAND PL NW  
ADJACENT SINGLE FAMILY DWELLING

3319 ROWLAND PL NW  
ADJACENT SINGLE FAMILY DWELLING

3317 ROWLAND PL NW  
ADJACENT SINGLE FAMILY DWELLING



SCALE: 1:20



3238 Rodman St NW  
PDRM

10 January 2024

Prepared for:

Prepared by:

**Mike Rifer**  
**Tara Azimi**  
**3238 Rodman St NW**  
**Washington, DC. 20008**

**mrifer@yahoo.com**  
**azimi.tara@gmail.com**

**Peter Nettelbeck, RA**  
410 960 2083  
[pnettelbeck@gmail.com](mailto:pnettelbeck@gmail.com)

**Site Related Information**

**Highlights**

- In the Cleveland Park Historic District

**Basic Information**

3238 RODMAN STREET NW	
SSL (Square, Suffix & Lot)	2062 0053
Lot type	record lot
Ward	Ward 3
ANC	ANC 3C
SMD	SMD 3C05
Neighborhood Cluster	Cluster 15
Police District	Second Police District
Police Service Area	PSA 203
Voting Precinct	Precinct 27
Zoning	R-2
2020 census tract	8
2020 census block group	1
2020 census block	1005

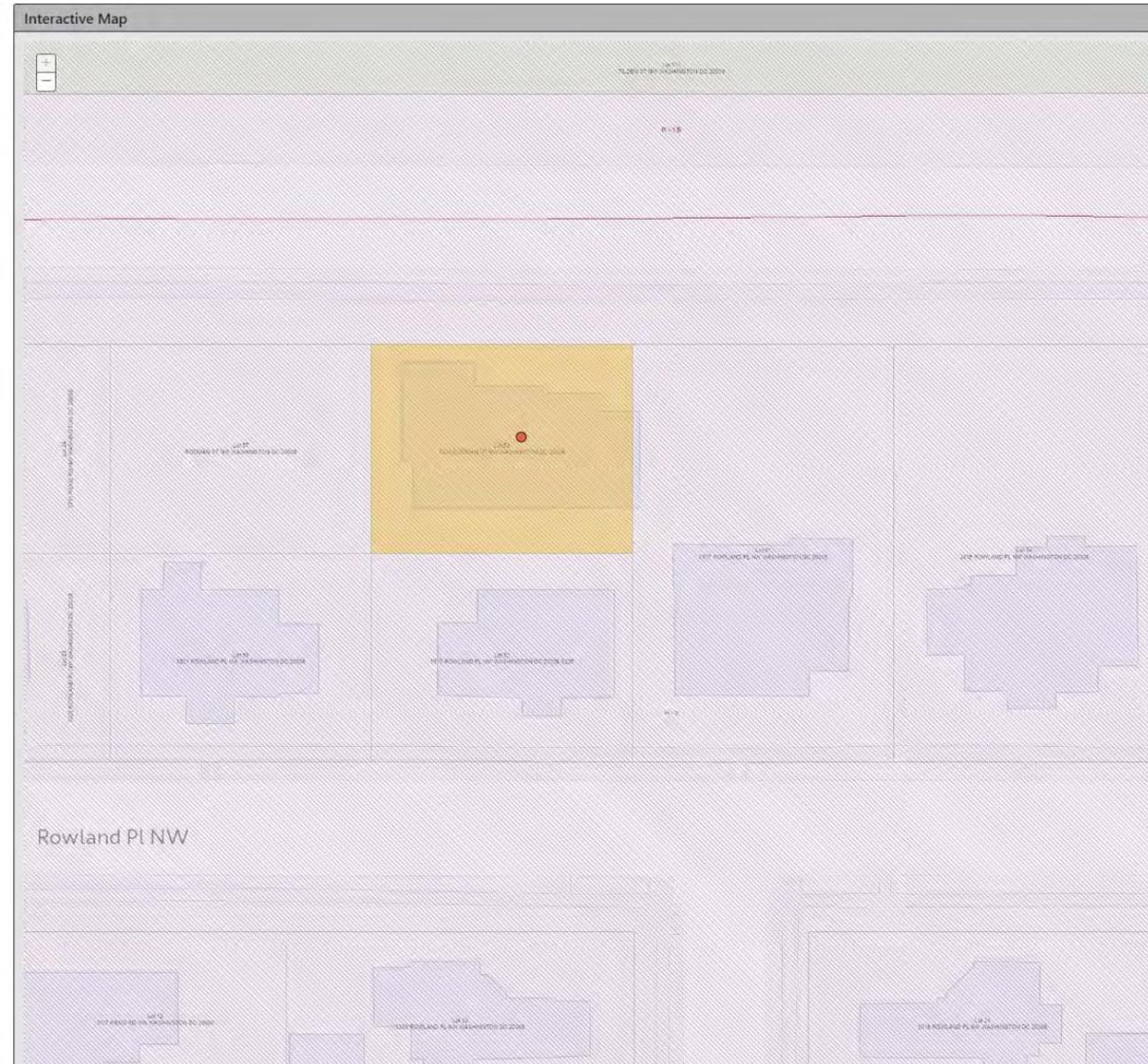
**Ownership and Taxes**

Record lot	2062 0053
Premises	3238 RODMAN ST NW WASHINGTON DC 20008
Owner	RIFER, MICHAEL C
and	AZIMI, TARA
	3238 RODMAN ST NW
	WASHINGTON DC 20008-3113
Use	Residential-Detached-Single-Fa
Land area	4500 square feet
Homestead tax deduction	(owner occupied with exemption)
Tax rate	\$0.85 per \$100 assessed value
Current assessment (2023)	
land	\$927,550
improvements	\$506,440
total	\$1,249,990
Proposed assessment (2024)	
land	\$977,380
improvements	\$526,550
total	\$1,319,530
Sale price	\$1,062,500
Sale date	8/27/2014

**2004 photo**



2062 0053 09/19/2004



**R-2**

**Development Standards for R-2**

Zone District:	Residential Zone
Zone:	R-2
Building Category:	All Other Buildings & Structures
Description:	Provide areas predominantly developed with semi-detached houses on moderately-sized lots that also contain some detached dwellings
Dwelling Units:	1
Height (ft):	40
Stories:	3
Minimum Lot Width (ft):	40
Minimum Lot Area (sq ft):	4000
Lot Occupancy (%):	40
Front Setback (ft):	No lesser or greater than existing setbacks on the same block
Rear Setback (ft):	20
Side Setback (ft):	8
Pervious Surface (%):	30
Web Link:	<a href="#">D 9 3</a>

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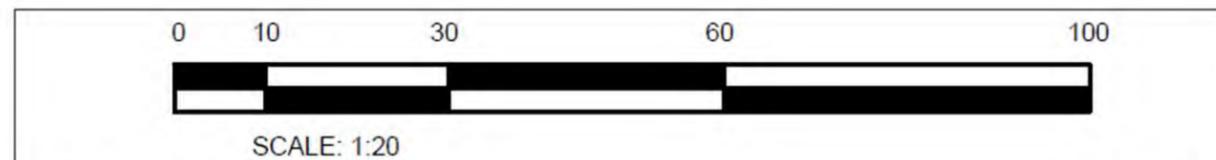
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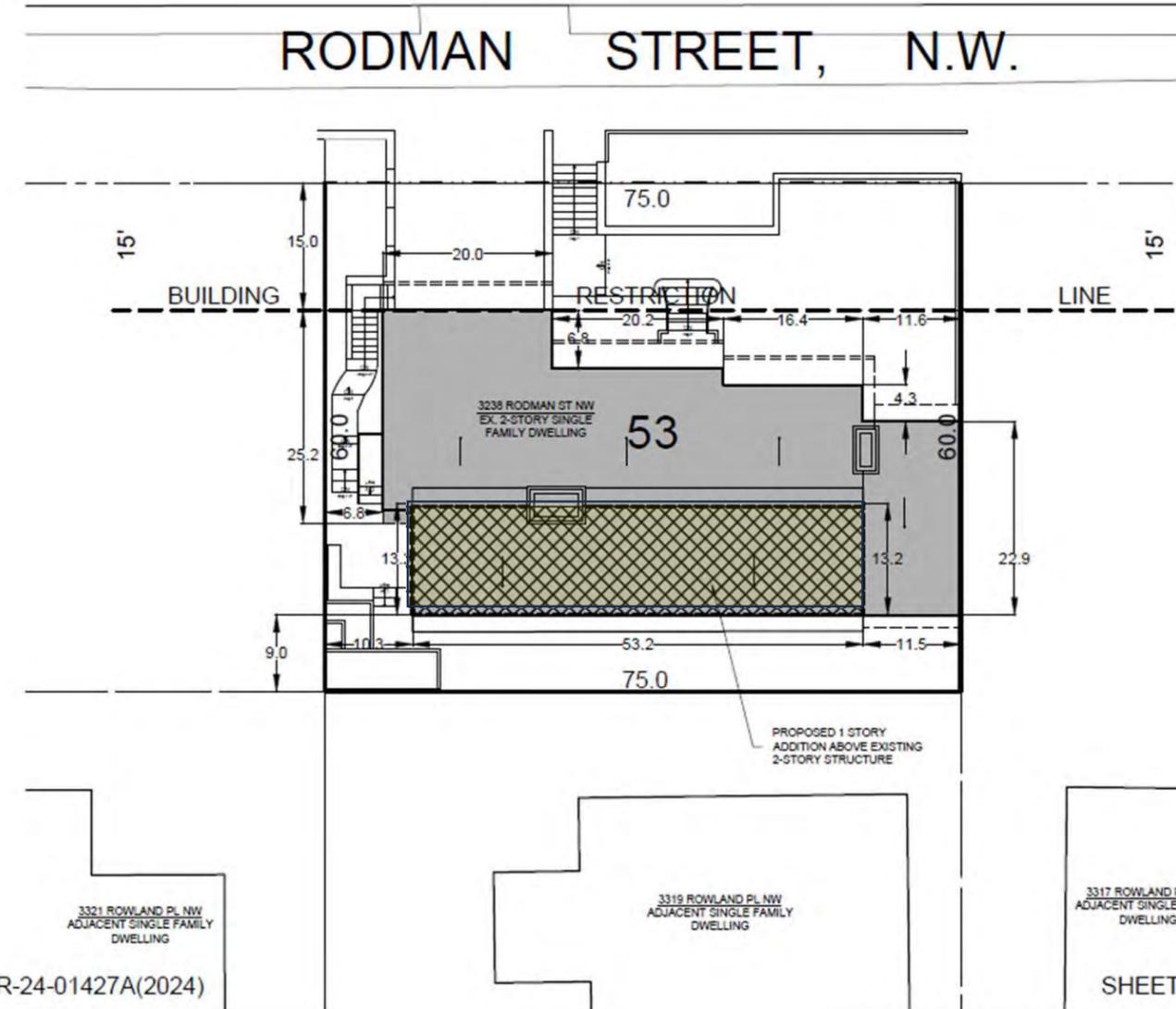


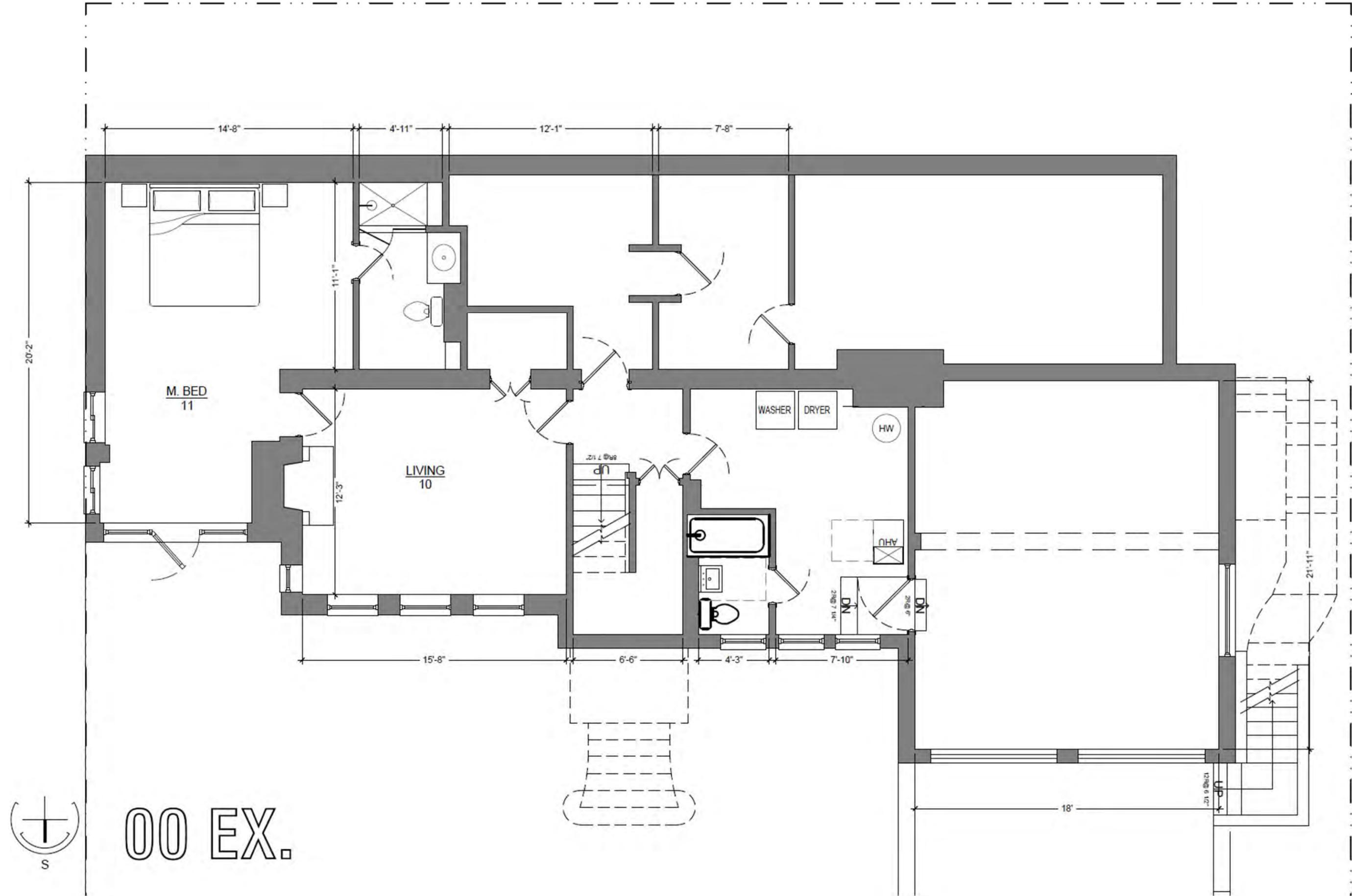
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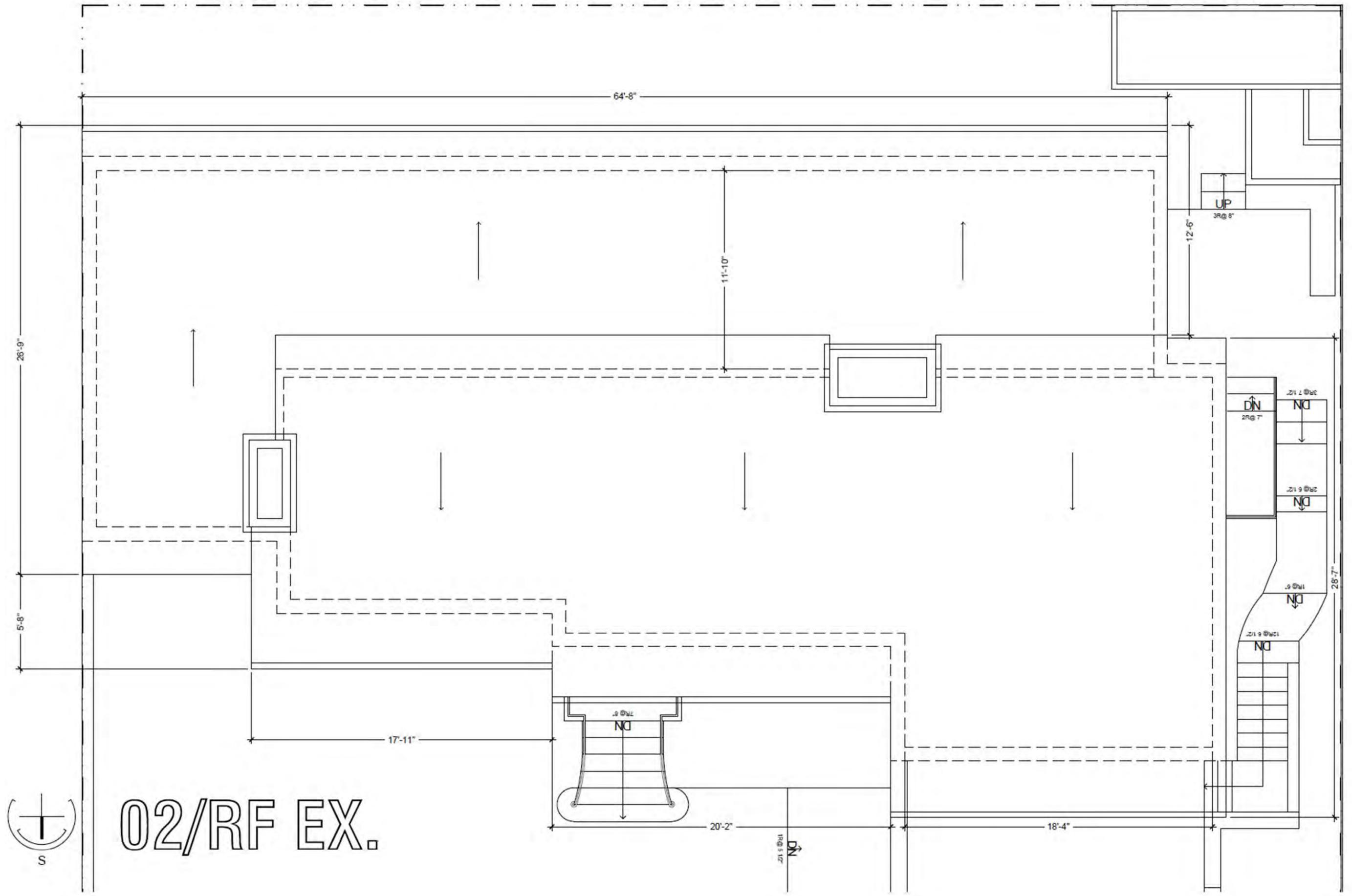
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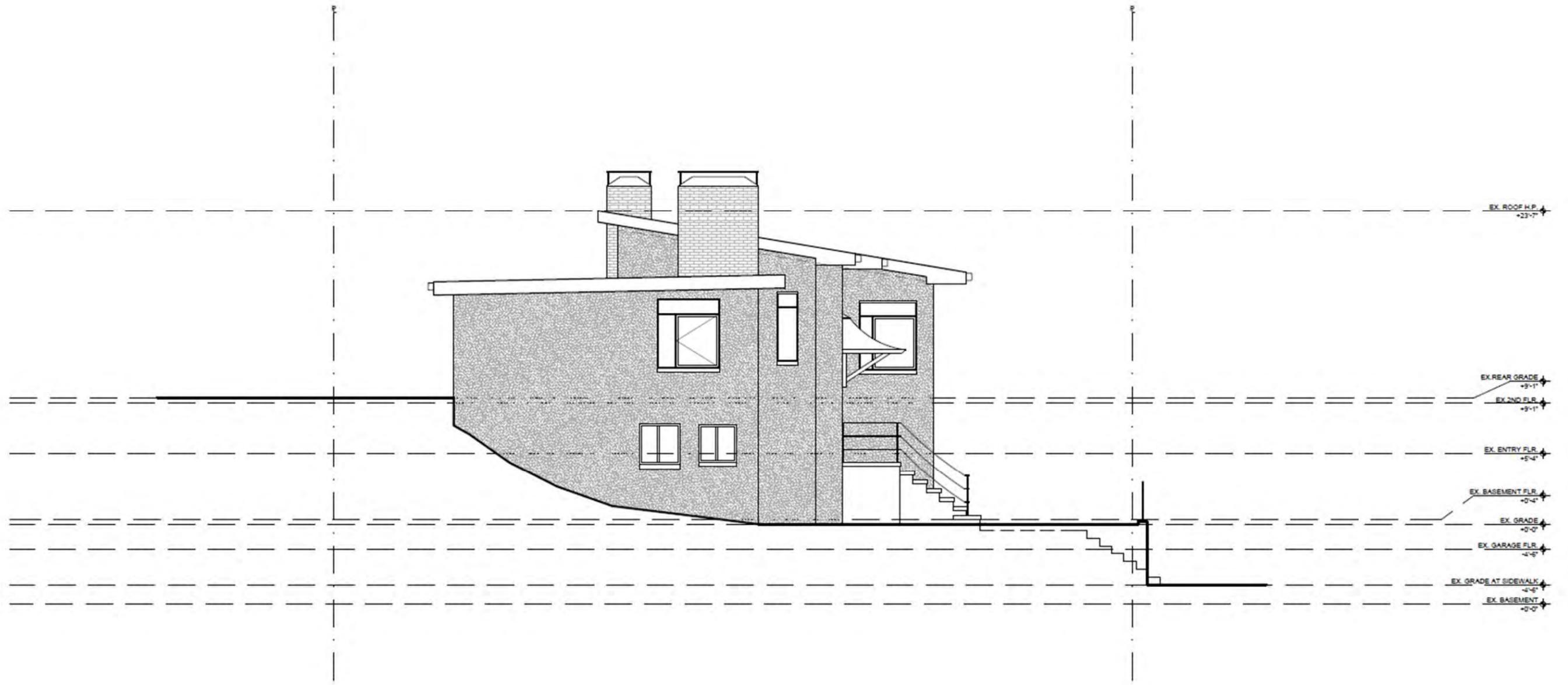
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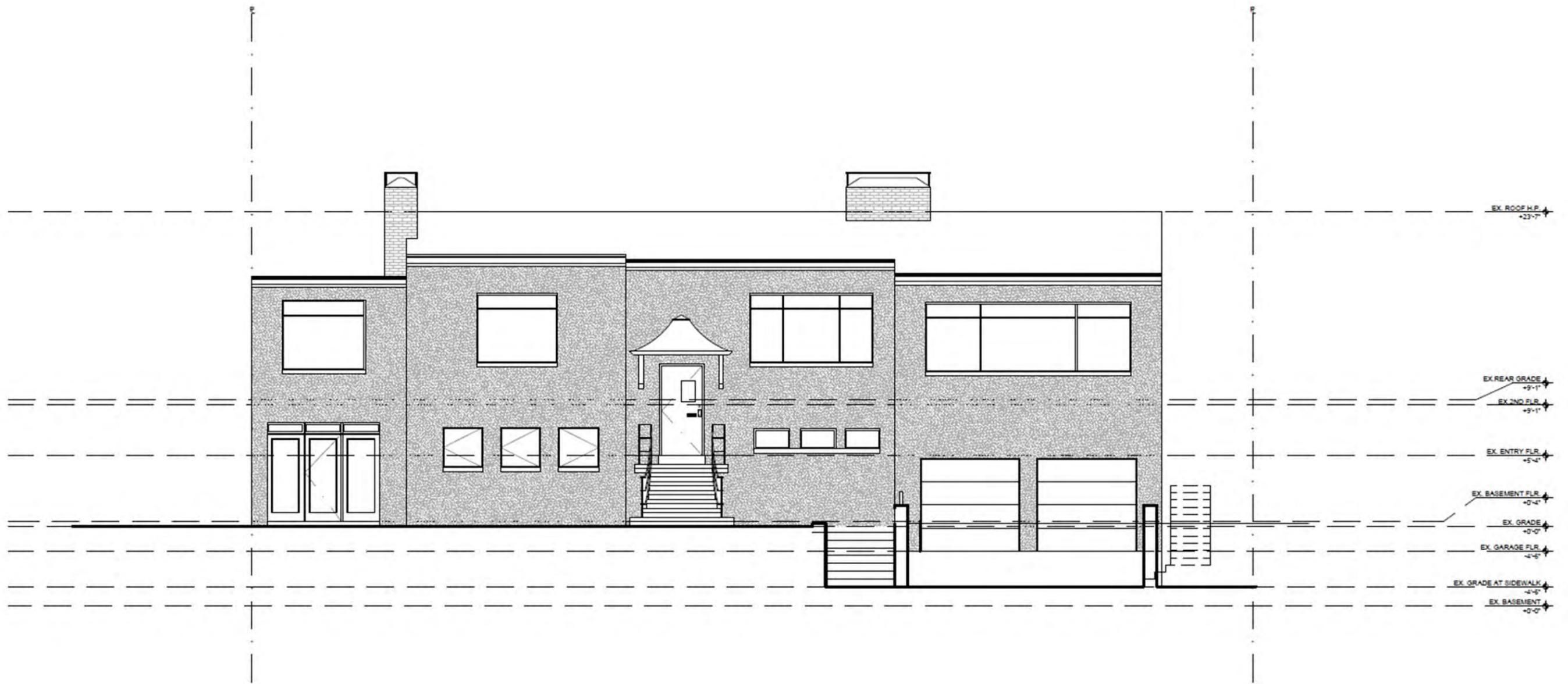




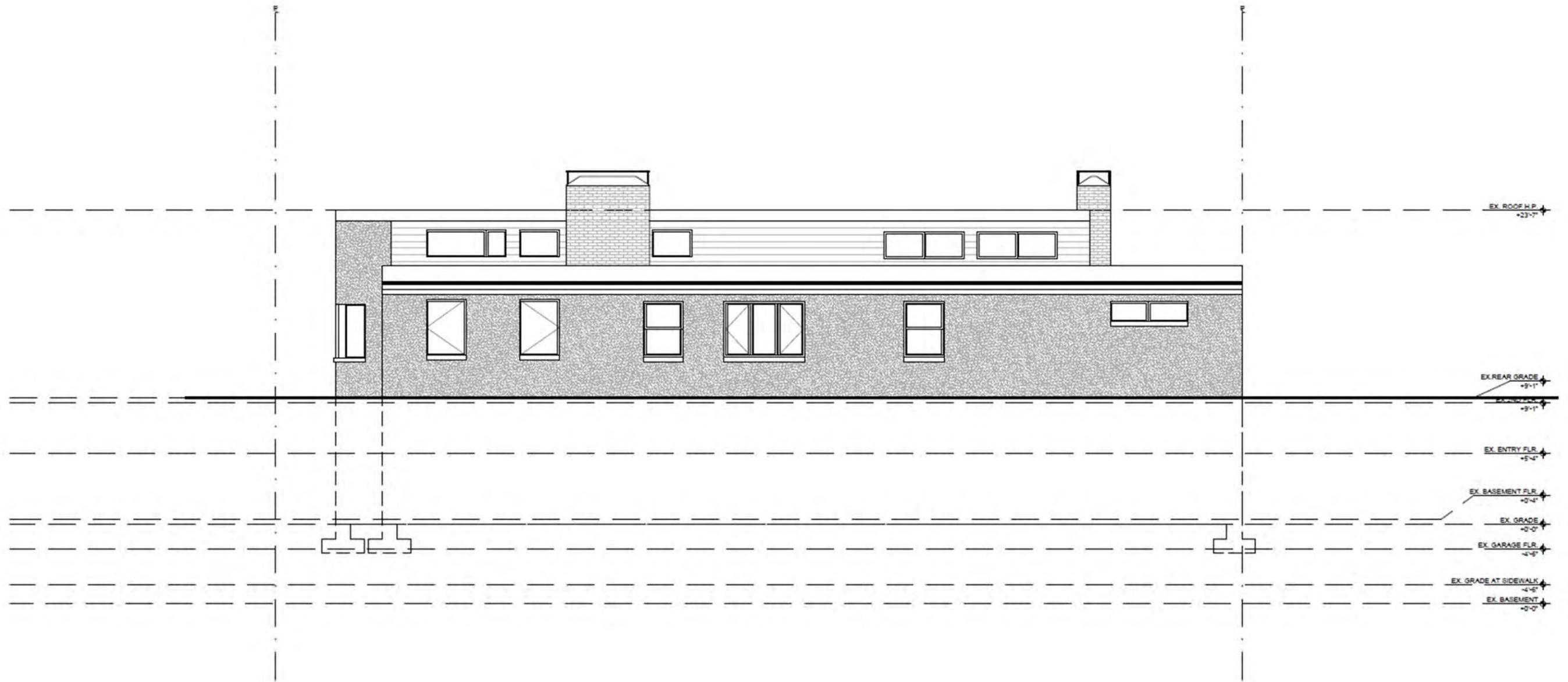




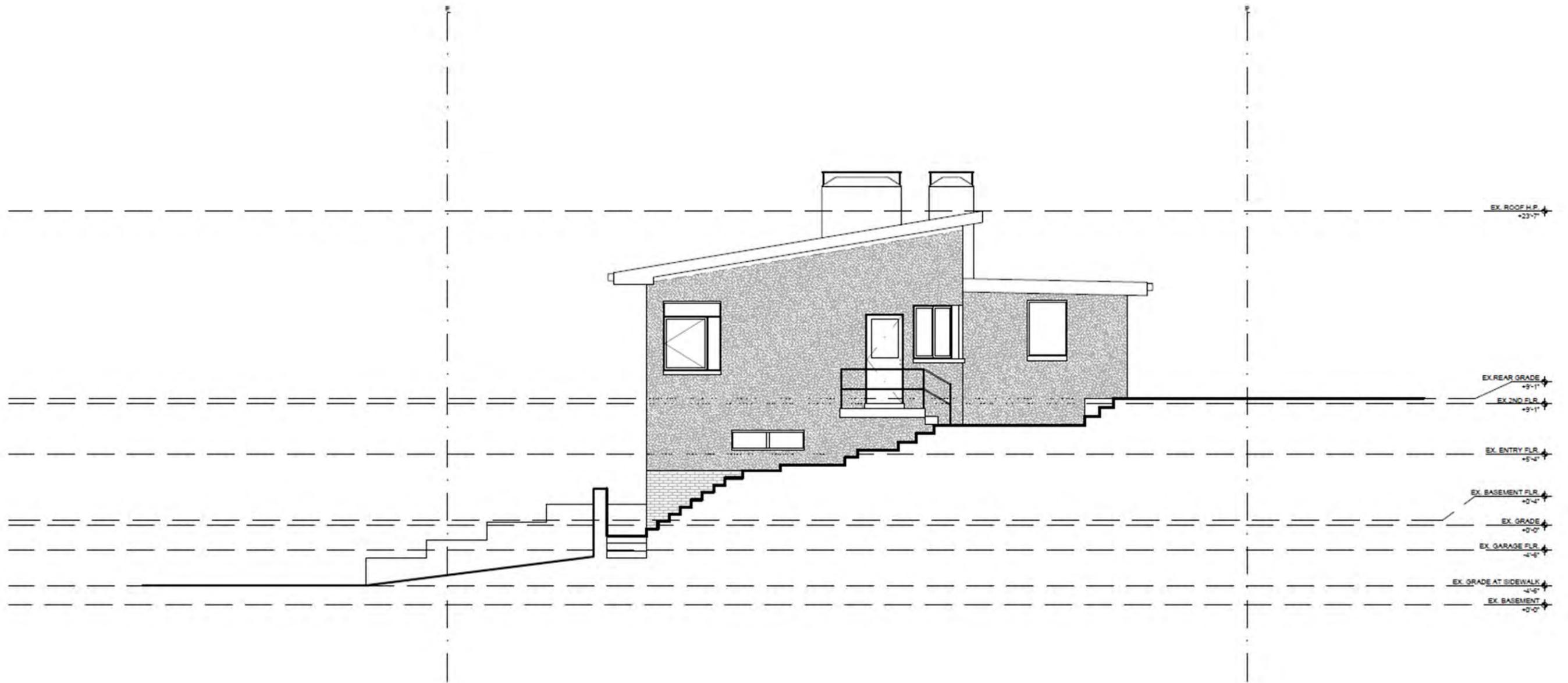
# EAST ELEV.



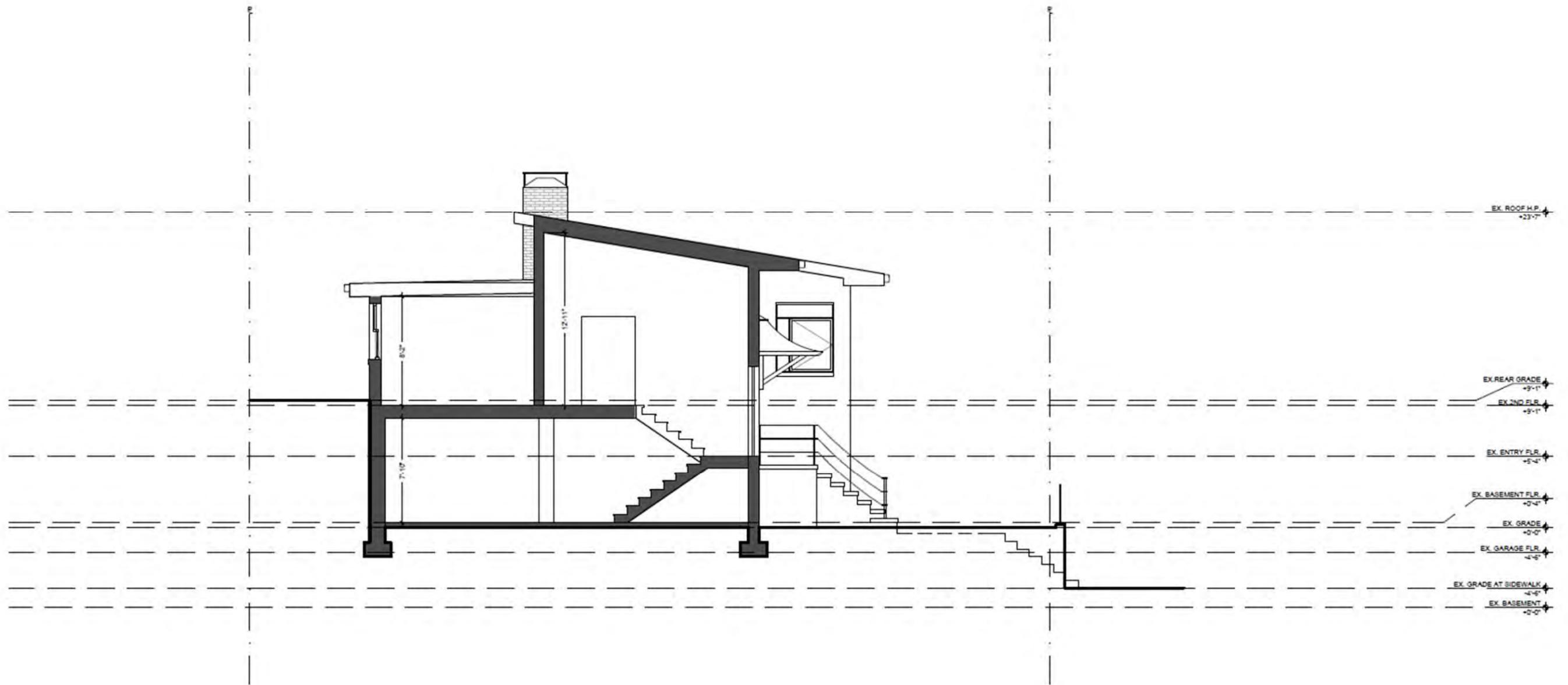
# NORTH ELEV.



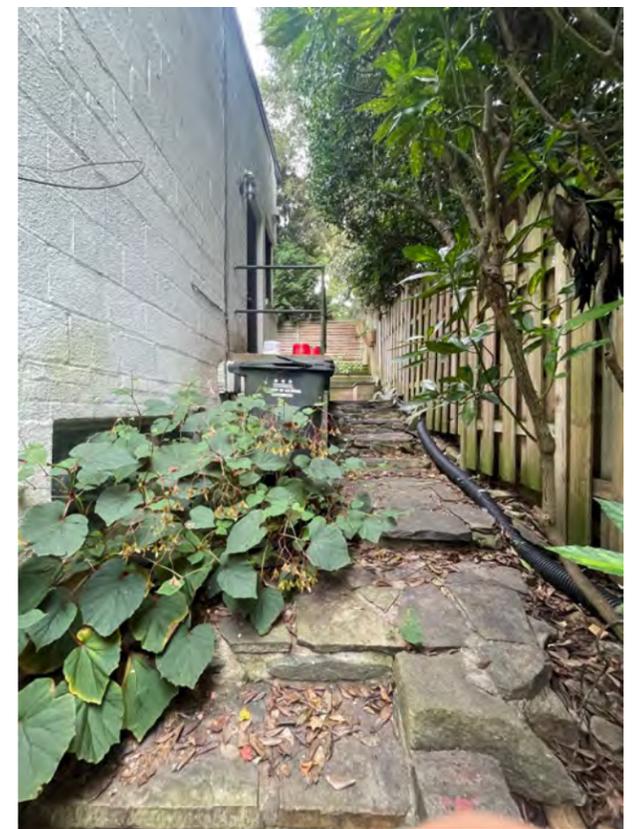
# SOUTH ELEV.

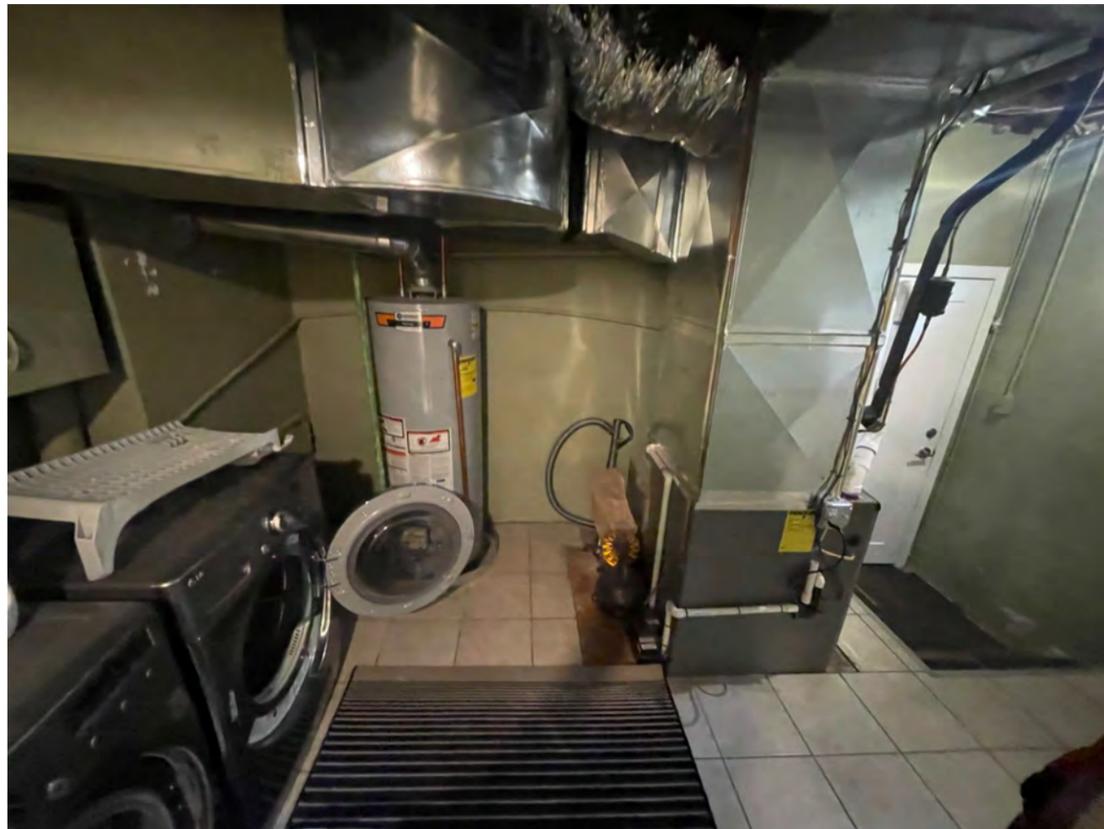
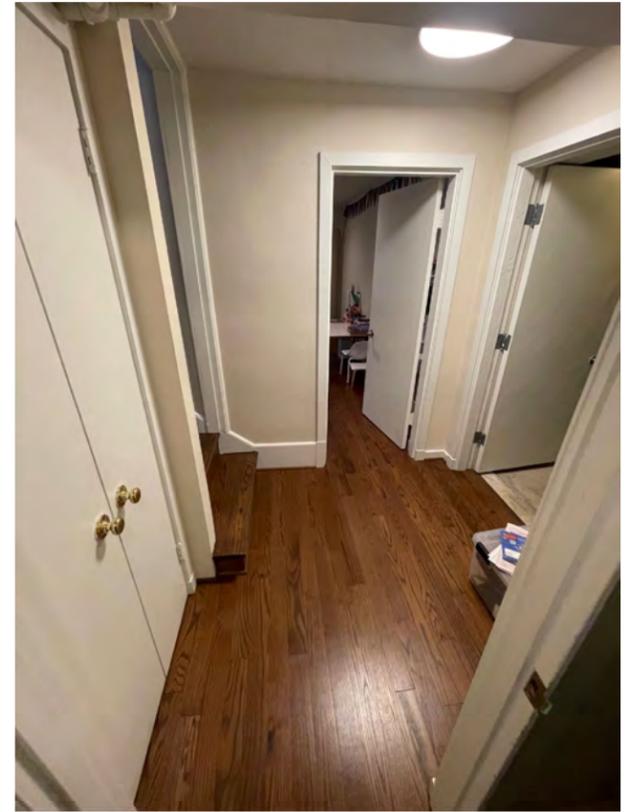


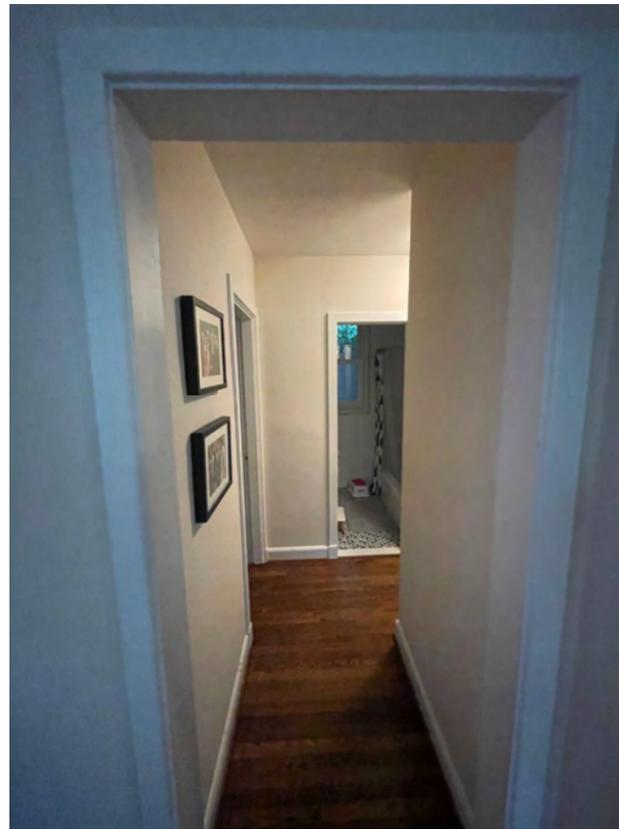
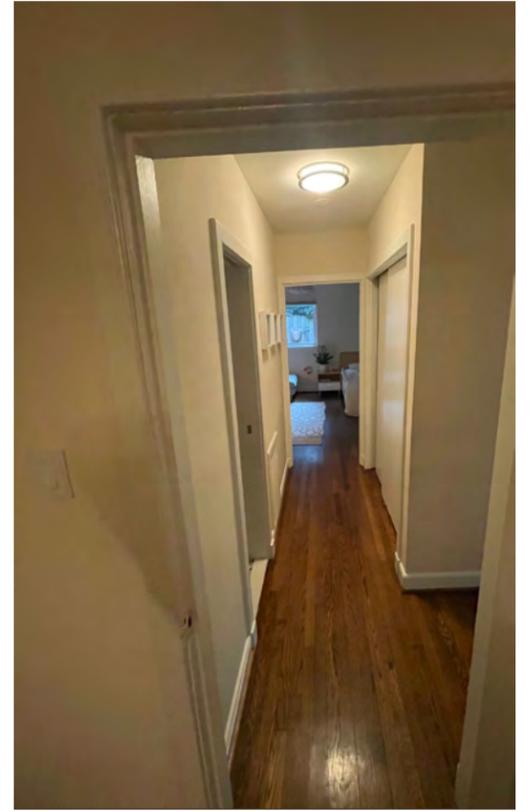
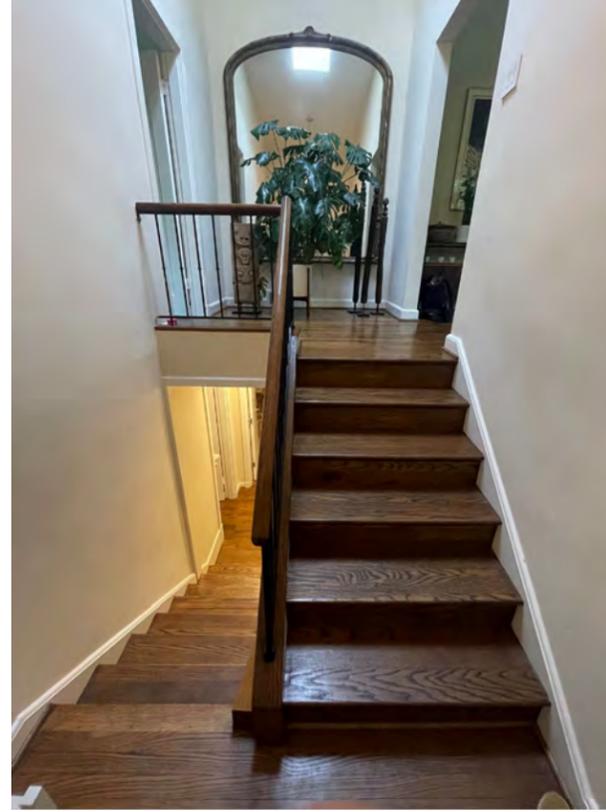
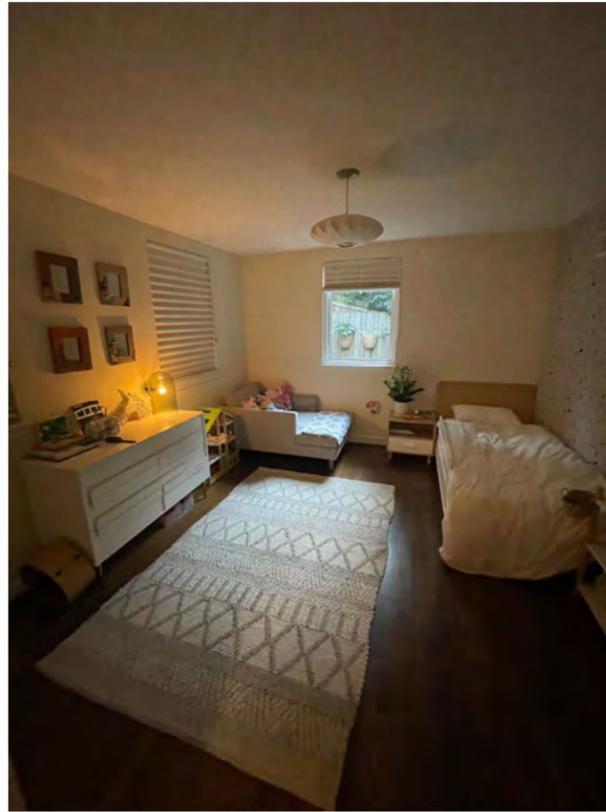
# WEST ELEV.

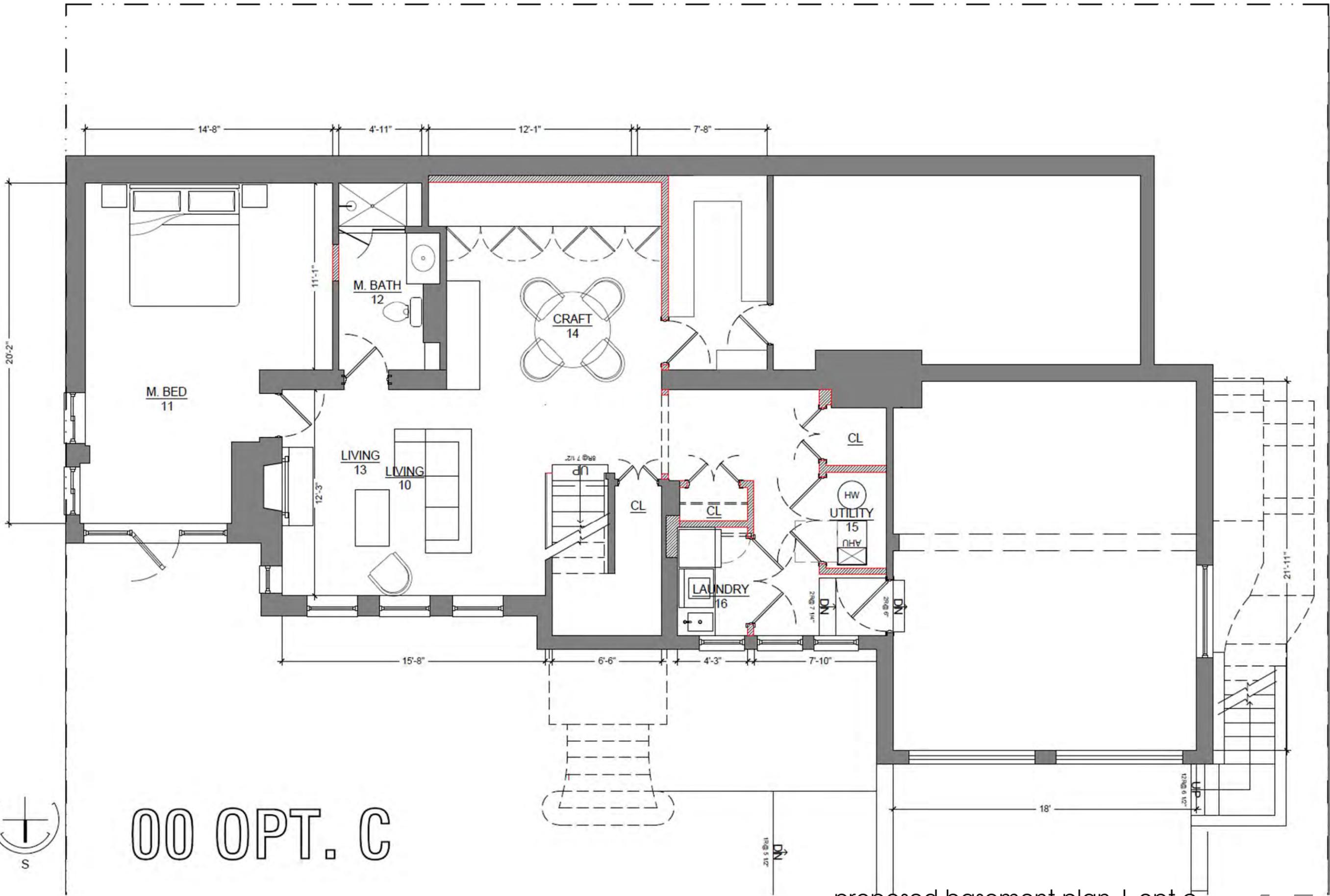


# SECTION (FACING WEST)

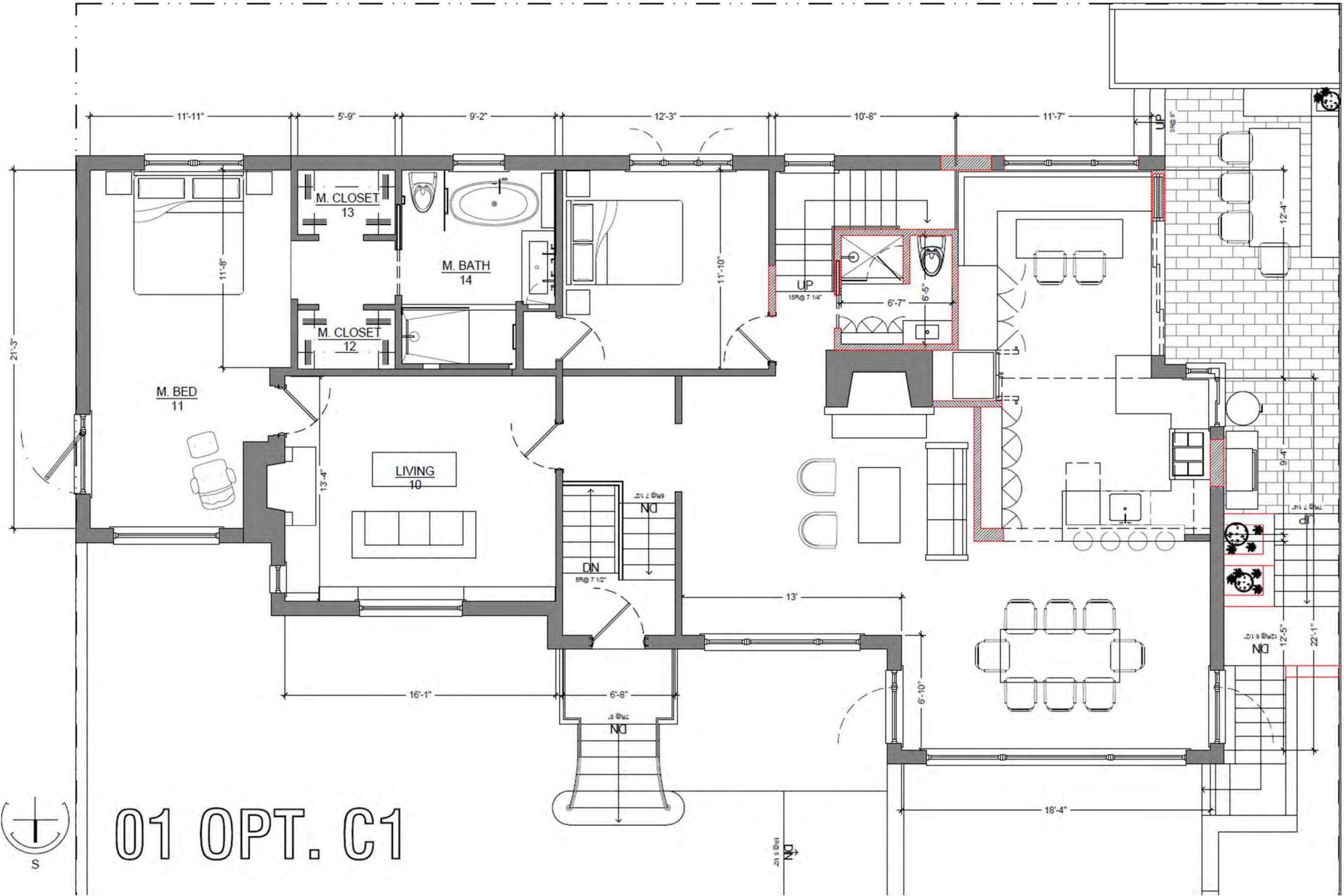






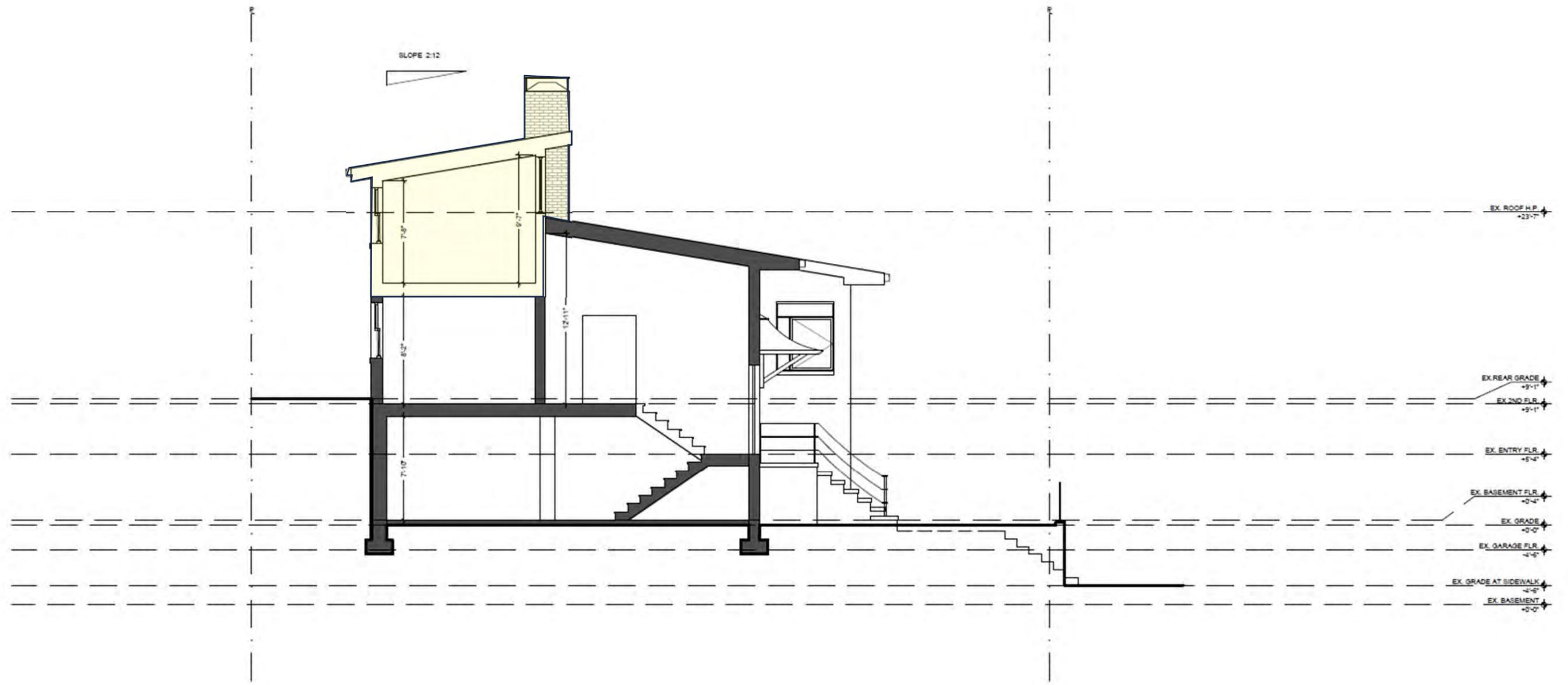


00 OPT. C



01 OPT. C1





# PROP. SECTION (FACING WEST)