

**Surveyor's Office**  
**DISTRICT OF COLUMBIA**

*4/4/50*  
*Small*

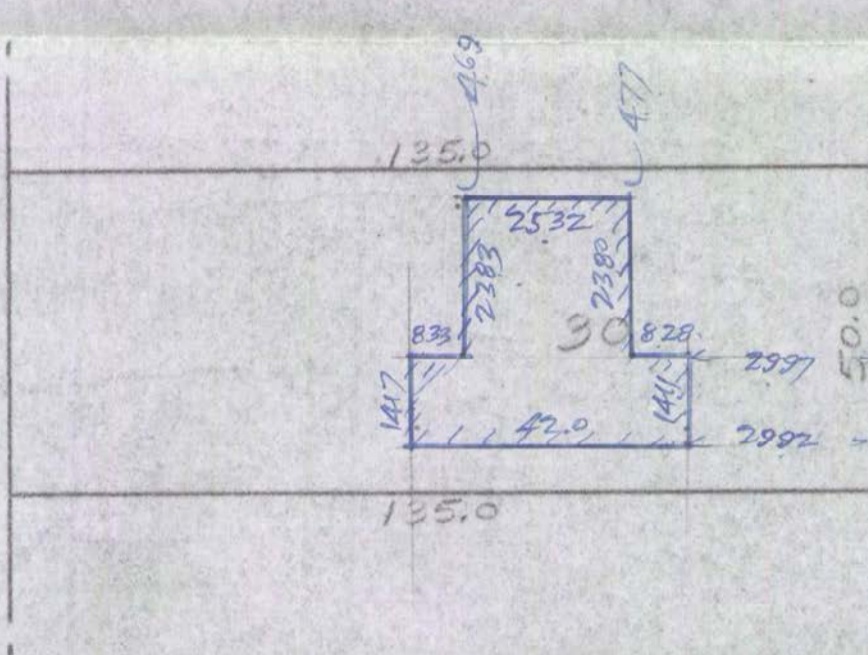
Washington, D. C., 4-14, 19 54

Plat, for Building Permit of lot 30, Square 1394

Recorded in Book C 7 page 93

Scale: 1 inch = 30 feet

S. O. 16898



*Place*

*King*

*EXISTING PUBLIC CORRIDOR  
LOCATED*

Furnished to W. R. Pietsch

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plan as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb or alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property).

Date \_\_\_\_\_

*F. J. Deal*  
Surveyor, District of Columbia.

Per FLB

(Signature of owner or his authorized agent)

SO. 1394

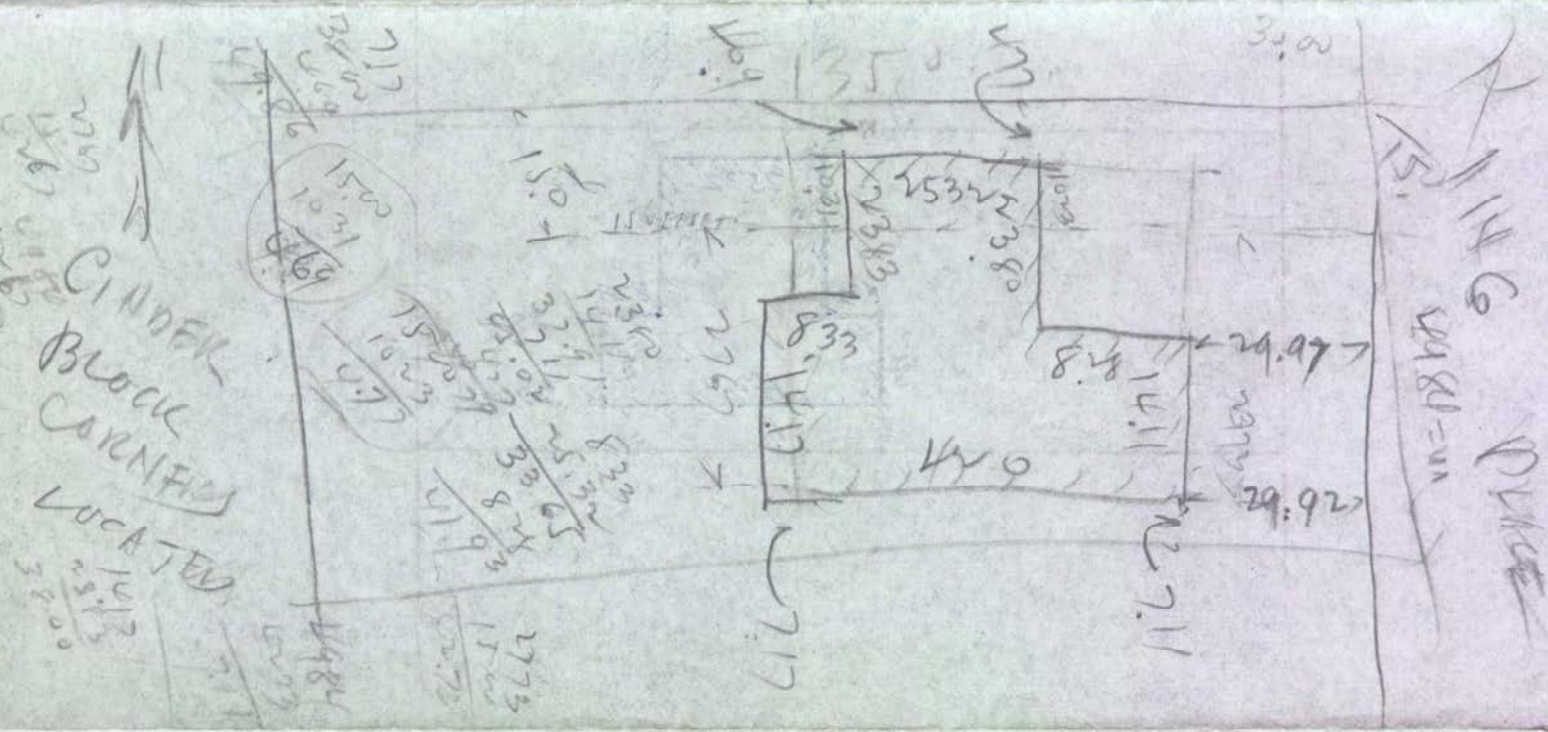
101 30

SO. 22128

PLP 11119 APP 11 1955

DISTRICT OF COLUMBIA

Book



**ARCHITECTS  
INTERIORS**



**DESIGN**  
4704 Caronia Way Fairfax, VA 22030  
TEL: (703) 338-7642

Project Number: 23005

Issued:

No.	Date	Description
1	7/17/23	PDRM PRESENTATION

CLIENT APPROVAL  
APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
Project Name: \_\_\_\_\_

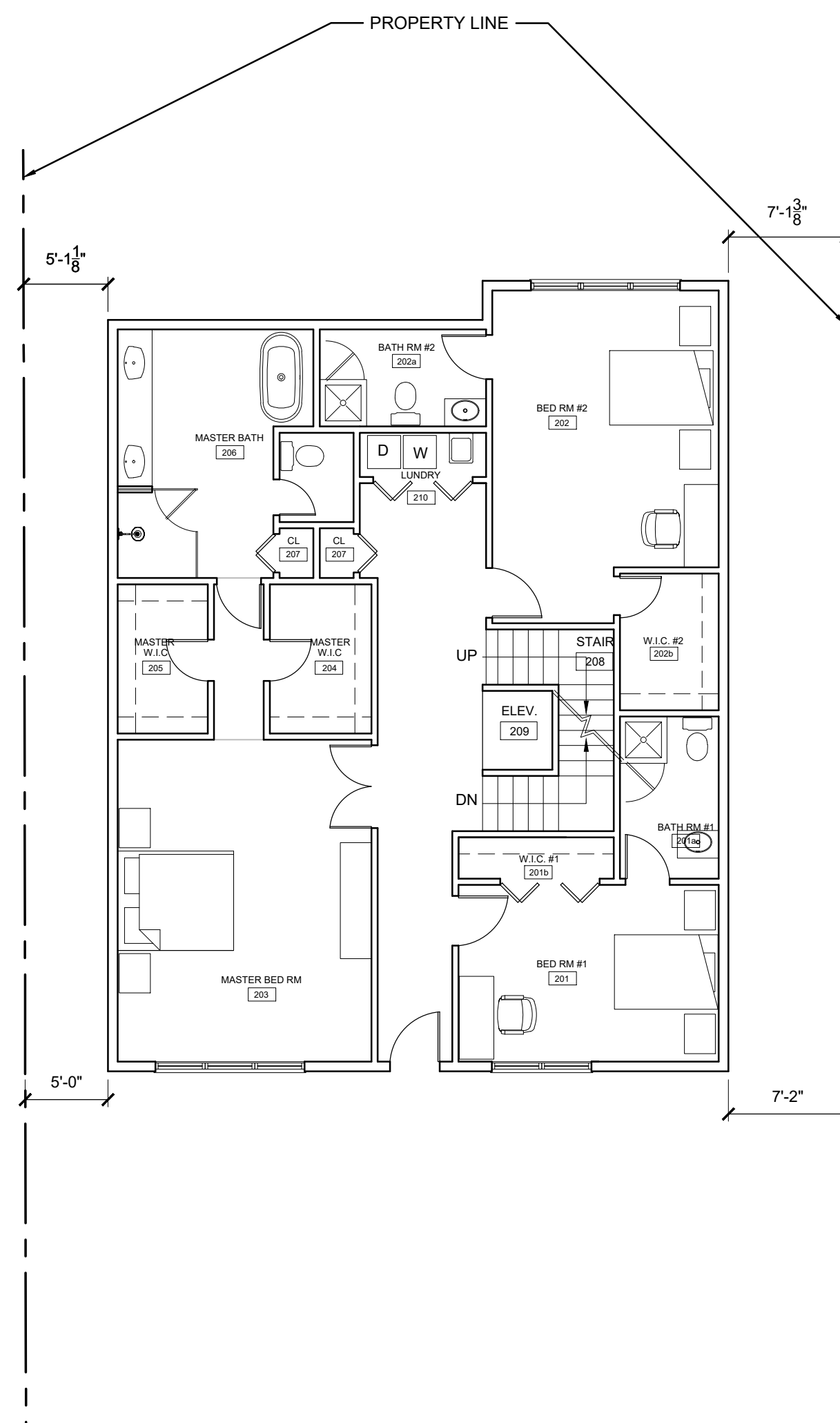
2300 KING PL  
WASHINGTON, DC 20007

Sheet Title:  
**NEW BASEMENT, FIRST &  
SECOND FLOOR PLANS**

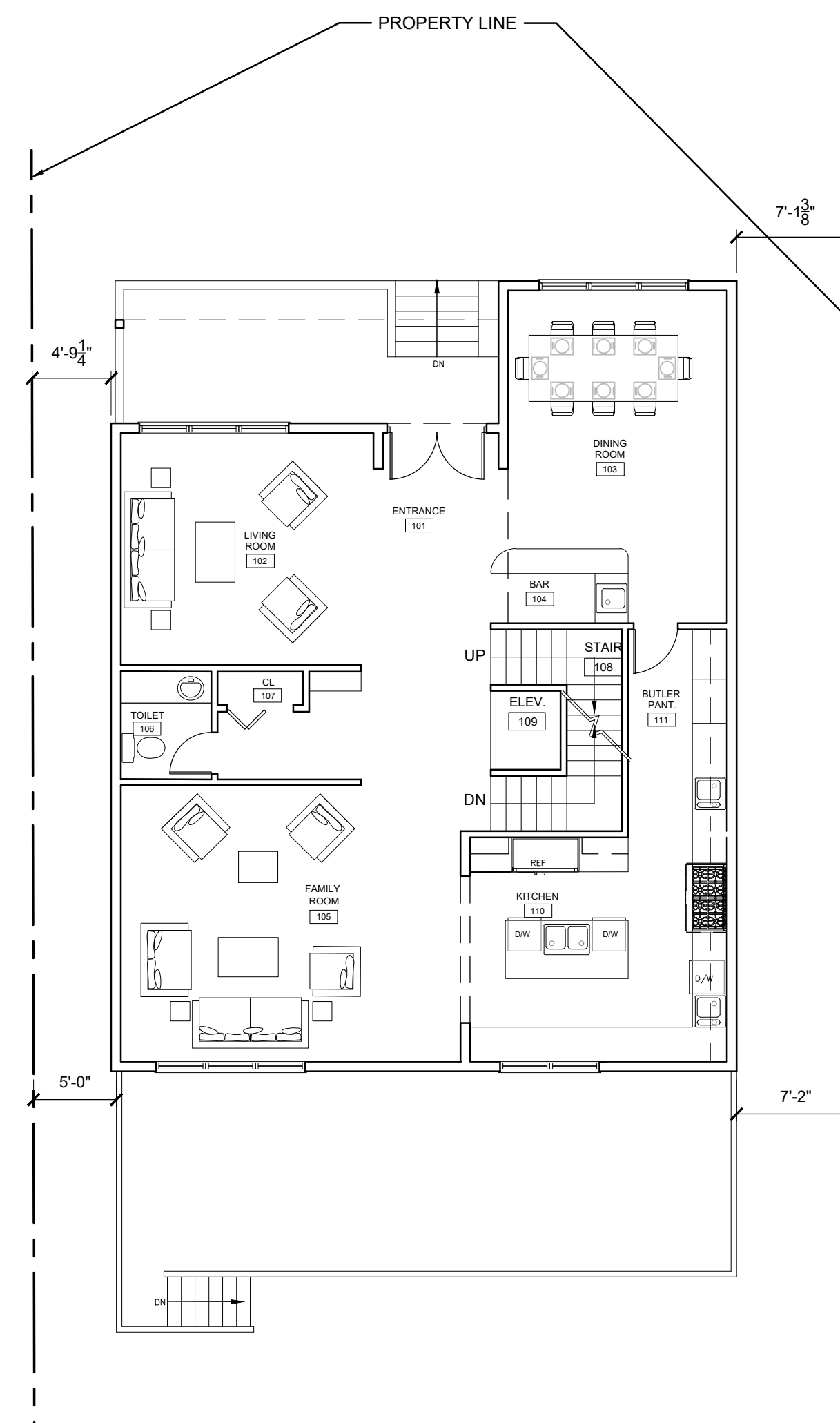
Seal:

Sheet No.: **ASK02**

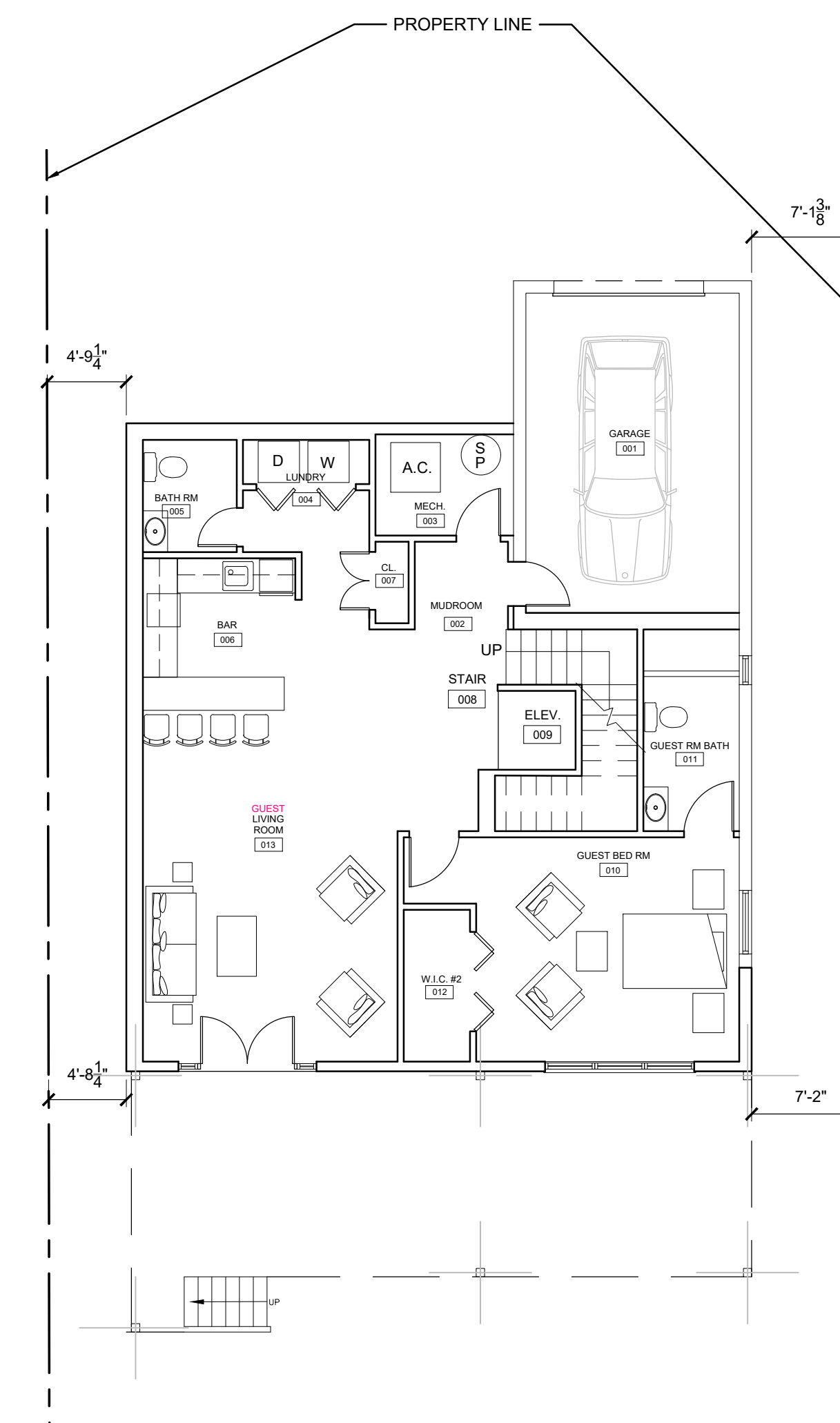
Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
Scale: AS NOTED



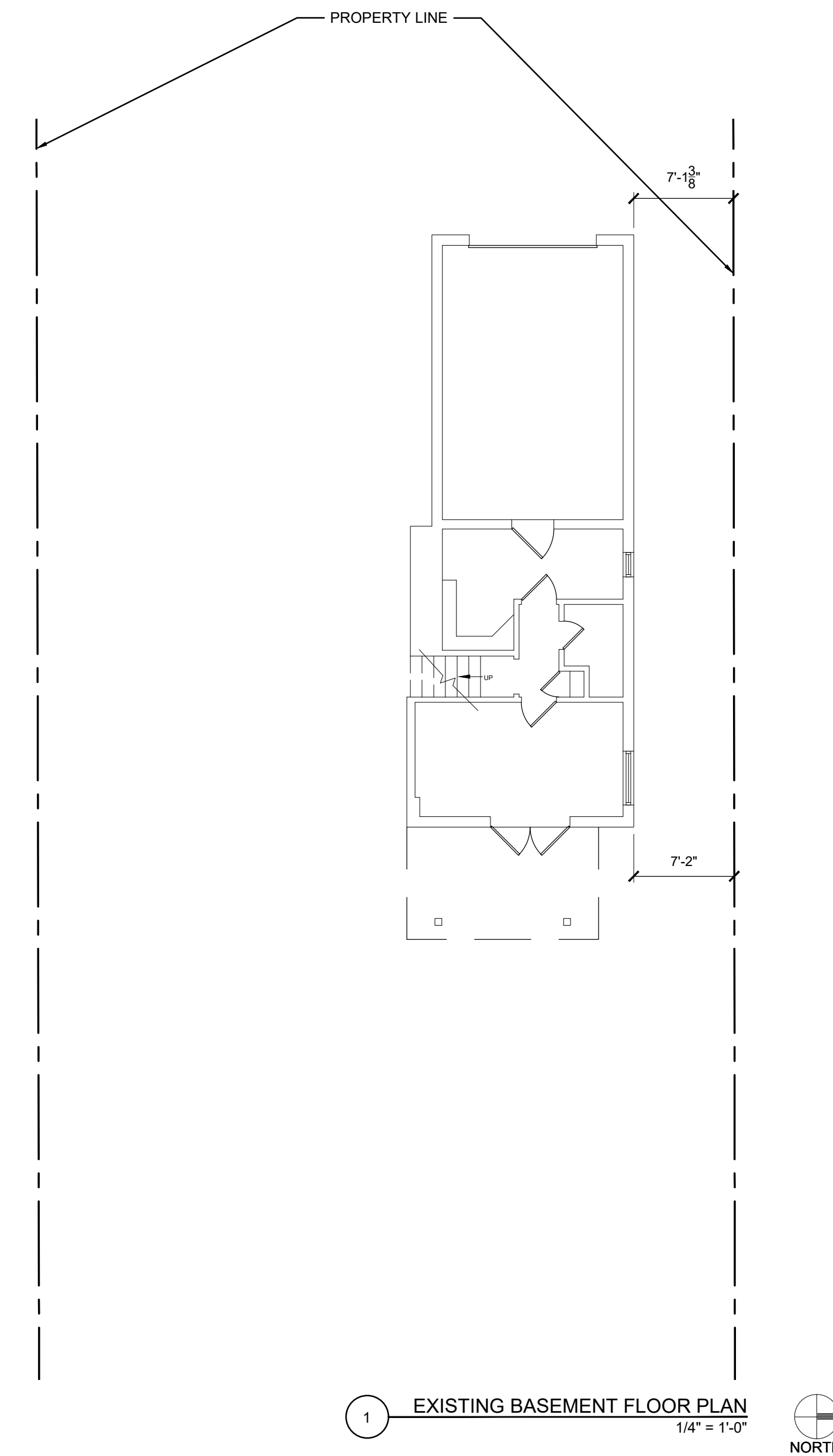
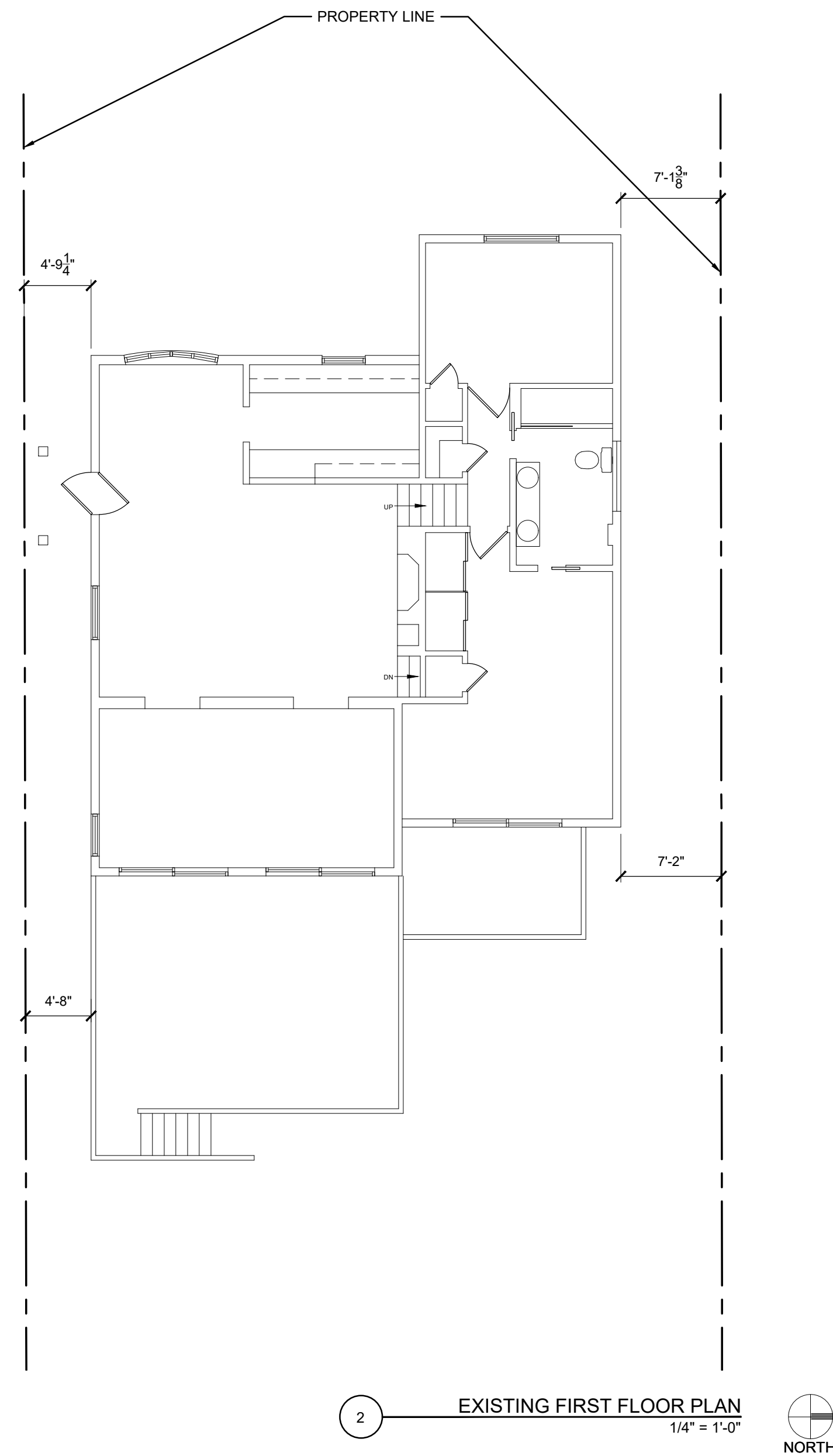
3 — NEW SECOND FLOOR PLAN  
1/4" = 1'-0" NORTH



2 — NEW FIRST FLOOR PLAN  
1/4" = 1'-0" NORTH



1 — NEW BASEMENT FLOOR PLAN  
1/4" = 1'-0" NORTH



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INTERIORS**



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DATE: \_\_\_\_\_

Project Name: \_\_\_\_\_

2300 KING PL  
WASHINGTON, DC 20007

Sheet Title:  
**EXISTING BASEMNT  
& FIRST FLOOR PLANS**

Seal: \_\_\_\_\_

Sheet No.:  
**ASK01**

Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
AS NOTED

Scale: \_\_\_\_\_