

BOARD OF ZONING ADJUSTMENT

3421 WISCONSIN AVE., NW
WASHINGTON DC, 20016

SQUARE 1914, LOT: 044
ZONING DISTRICT RA-2
C of O PERMIT NO: CO0900552

EXISTING: 5 UNITS
PROPOSED: 5 UNITS



| | |
|--------|-----------------------------------|
| BZA-00 | COVER SHEET |
| BZA-01 | PROJECT DESCRIPTION |
| BZA-02 | EXISTING CONTEXT PHOTOS |
| BZA-03 | EXISTING CONTEXT PHOTOS |
| BZA-04 | ZONING ANALYSIS TABLE |
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| A-100 | PROPOSED CELLAR LEVEL PLAN |
| A-101 | PROPOSED FIRST FLOOR PLAN |
| A-102 | PROPOSED SECOND FLOOR PLAN |
| A-103 | PROPOSED THIRD FLOOR PLAN |
| A-104 | PROPOSED ROOF PLAN |
| A-200 | PROPOSED WEST AND EAST ELEVATIONS |
| A-201 | PROPOSED NORTH ELEVATION |
| A-300 | PROPOSED BUILDING SECTION |
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| A-3D 2 | PROPOSED 3D VIEW 2 |
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| A-3D 4 | PROPOSED 3D VIEW 4 |
| EX-100 | EXISTING CELLAR LEVEL PLAN |
| EX-101 | EXISTING FIRST FLOOR PLAN |
| EX-102 | EXISTING SECOND FLOOR PLAN |
| EX-103 | EXISTING THIRD FLOOR PLAN |
| EX-104 | EXISTING ROOF PLAN |
| EX-200 | EXISTING ELEVATIONS |
| EX-300 | EXISTING BUILDING SECTION |

BOARD OF ZONING ADJUSTMENT

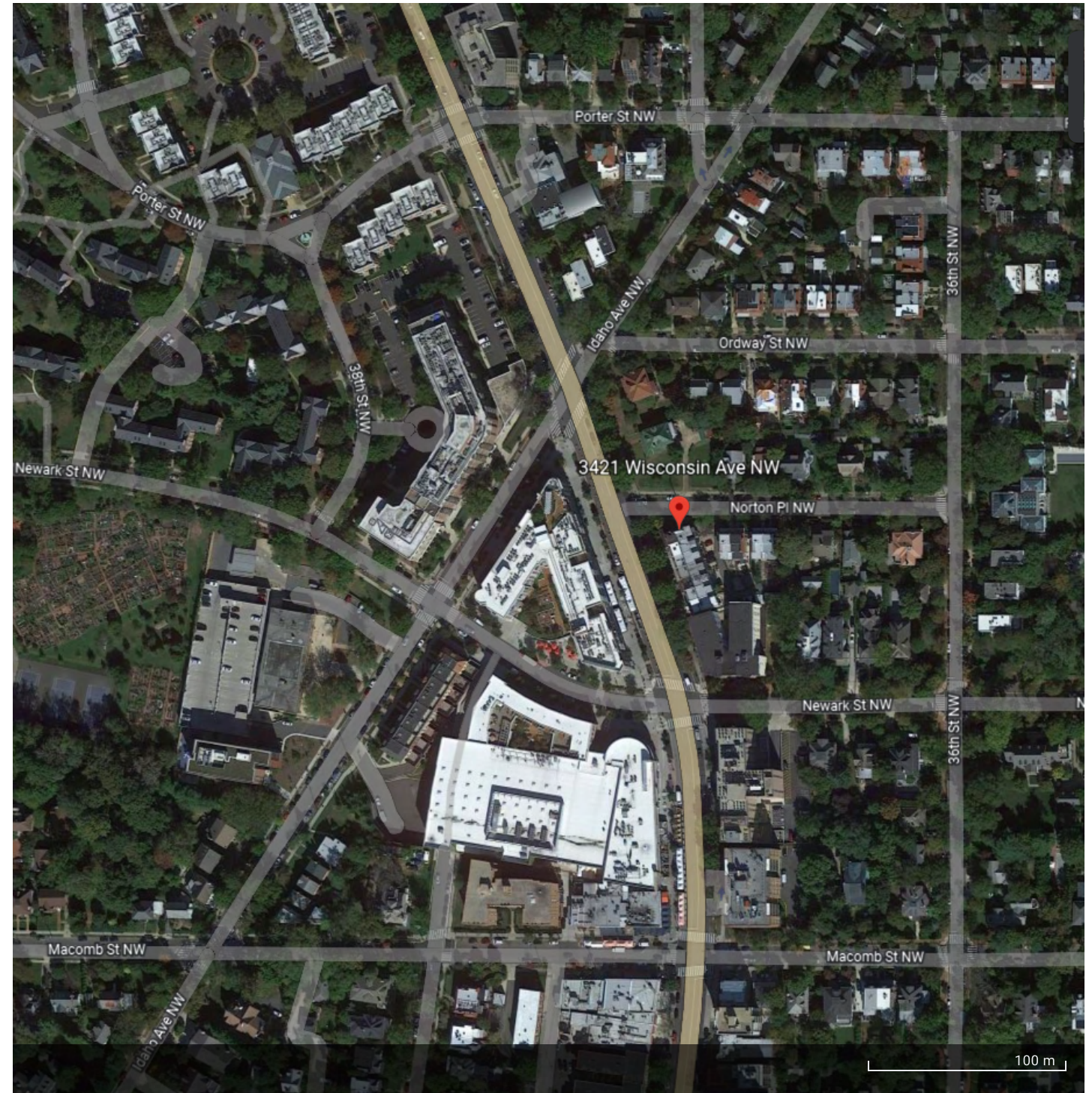
3421 WISCONSIN AVE. NW

Washington, DC 20016

The original brick corner row house at 3421 Wisconsin Avenue NW was built in 1925 and it is currently occupied as five multifamily units. The original single family home has changed significantly over the century with a sleeping porch addition at the rear to accommodate more bedrooms. The original addition is a wood framed mass with a flat roof over a brick base with simpler trim details. The multifamily units are arranged with two units with separate entries on the cellar level, two units on the ground floor with separate entry porches, and one unit on the second floor. The existing third floor is a low attic space with a large skylight visible from the street level. The existing tiled mansard roof wraps the West and North sides of the existing building mass and comes to a peak at the rear where there is a low eave space on the third floor.

The proposed work will expand upon the side massing adjacent to Norton Pl. NW, rebuild and improve the existing rear addition, and continue the mansard roof over a portion of the new rear addition. The work also includes raising the ceiling height of the third floor, so that it becomes a lighter usable space. This will be accomplished by extending the existing mansard roof lines to the top of where the existing skylight is now, and by creating taller shed dormers with windows that match the existing second floor window size. The building will still have five multifamily units with one on the cellar level, two on the first floor, one on the second floor, and one on the expanded third floor. The mansard roof will also wrap all three sides of the building so that there is visual consistency on each side. Every proposed architectural move draws from the existing building elements and extends lines from original house.

Special Exception relief per X §901.1 and F §5201.1 is sought for Lot Occupancy and Open Court width (see sheet BZA-04). Existing lot occupancy will increase with the proposed addition from 54% to 69% (up to 70% lot occupancy meeting Special Exception criteria is allowed per F §5201.1). Expansion of the existing enclosed sleeping porch will create a non-conforming two-story dogleg open court at the rear of the property facing into the property's rear yard and the rear yard of the adjacent property. Both non-conforming conditions will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps, and neither will adversely affect the use of the neighboring property.



VICINITY MAP



VIEW FROM NORTON PL. NW



VIEW FROM WISCONSIN AVE. NW



3421

3419

3417

3415

3413

3411

3409

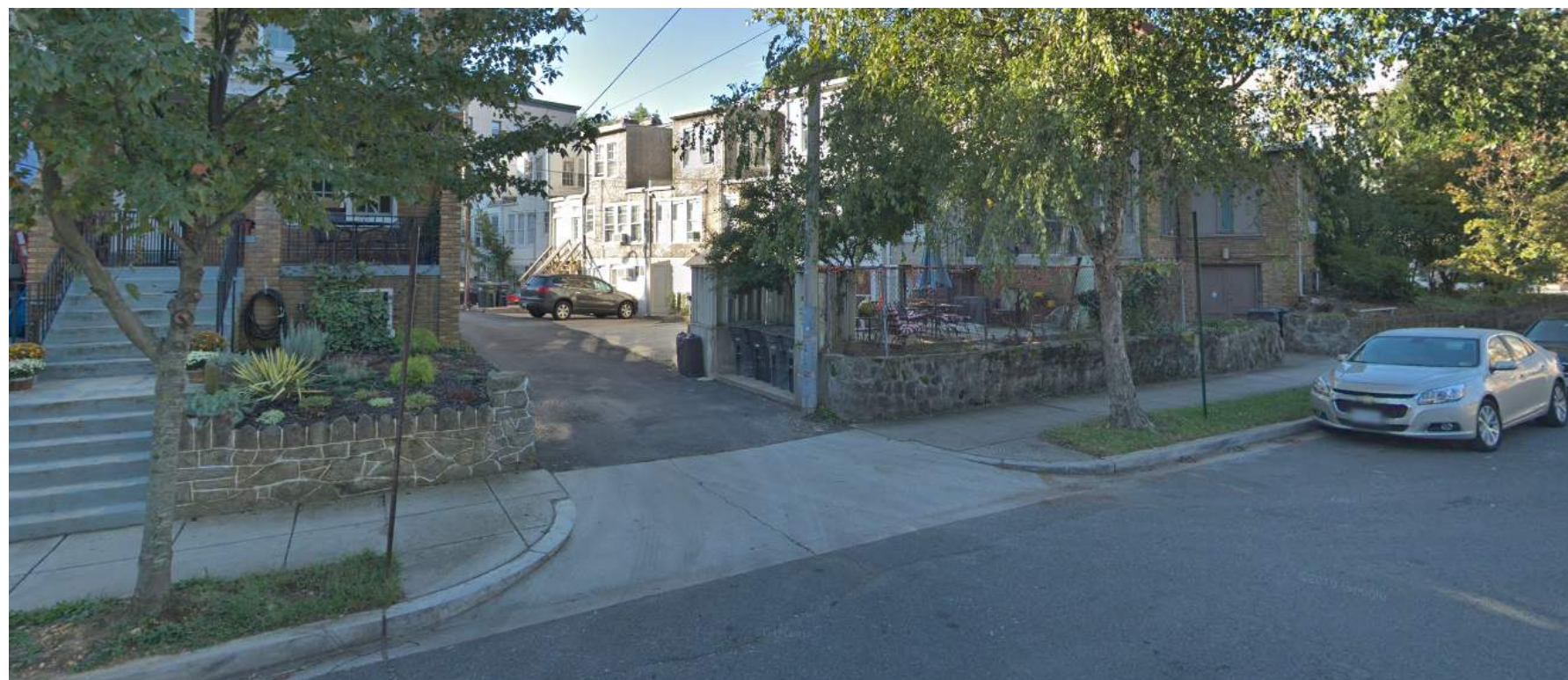
VIEW FROM WISCONSIN AVE., NW



VIEW FROM REAR PATIO



VIEW FROM NORTON PL. NW



VIEW FROM NORTON PL. NW

| 3421 WISCONSIN AVE NW Washington, DC | | | | |
|---|------------------------------|--|-----------------|---|
| Applicable Section(s) | Requirements | Values | C / NC / NA / P | Relevant Criteria |
| BZA | | BZA Order XXXXX | | Special Exception relief for Lot Occupancy and Open Court width, per F §5201.1 |
| DC Zoning Map- | | | | |
| <u>Site Data:</u> | | | | |
| | Square: | 1914 | | |
| | Lot: | 0044 | | |
| | Site Area: | 2,474 SF | | |
| DCMR 11 - 09/2016 | | | | |
| <u>Zoning Data:</u> | | | | |
| DC Zoning Map- 91/61/16 | Zone: | RA-2 | | |
| | Existing Use: | Multi-family residential | C | |
| DCMR11 U-401.1 | Proposed Use: | Multi-family residential | C | Existing to remain |
| DCMR11 F-303.1 | Allowable Building Height: | 50' | | The building height measuring point (BHMP) shall be established at the adjacent natural or finished grade, whichever is the lower in elevation, at the mid-point of the building façade of the principal building that is closest to a street lot line. For any excavations projecting from the building's façade other than an exception to grade as defined at Subtitle B § 100.2 the elevation of the midpoint of a building façade shall be the equivalent of the lowest such elevation. Bldg. height is vertical distance from BHMP to the highest point of the roof, excluding parapets not exceeding 4' in height. |
| | Proposed: | 33'-2 3/4" | C | cellar +3 floors |
| DCMR11 F-302.1 | FAR: | 1.8 max | | |
| | Existing: | 1.24 | | 3,065 SF GFA |
| | Proposed: | 1.8 | C | 4,447 SF GFA |
| DCMR11 F-304.1 | Lot Occupancy: | 60% max residential use | | |
| | Existing: | 54% | | 1,314 SF |
| | Proposed: | 69% | NC | 1,698 SF; Per BZA Special Exception relief |
| DCMR11 F-305.1 | Rear Yard: | A distance equal to 4 in. per 1 ft. of principal building height but not less than 15 ft. | C | In the case of a lot that is triangular or irregularly shaped, the furthest point or line from the street lot line shall be deemed the point or line from which the required rear yard shall be measured. |
| | Required: | 15'-0" | | |
| | Proposed: | 15'-3" | C | |
| DCMR11 F-306.4 | Side Yard: | A side yard shall not be required along a side street abutting a corner lot in an RA-1, RA-2, RA-3, RA-4, and RA-5 zone. | N/A | Along side street of corner lot in RA-2 zone |
| | Proposed: | Corner Lot in RA-2 Zone | C | |
| DCMR11 F-202.1 | Courts: | | | |
| DCMR11 B-322.1 | Open court required width: | 4 in per 1 ft of height, not <10' | C | B-322.2 Where a court is open to a yard or any lot line, the court width requirements apply only to the dimension that is parallel or nearly parallel to the opening. |
| | Closed court required width: | 4 in per 1 ft of height, not <15' | N/A | No closed courts |
| | Area of closed court: | Area shall be twice the square of width of the court, not <350 SF | N/A | No closed courts |
| | Proposed open court 1 width: | 10'-0" | C | 26.5' open court height = 8'-10" = 10'-0" min. |
| | Proposed open court 2 width: | 27'-10" | C | 26.5' open court height = 8'-10" = 10'-0" min. |
| | Proposed open court 3 width: | 3'-8" | NC | 26.5' open court height = 8'-10" = 10'-0" min.; Per BZA Special Exception relief |
| Roof Structures: | | | | |
| DCMR-11 F-303.2 | Penthouse height: | 12' max 15' for penthouse mechanical space | N/A | |
| DCMR-11 C-1500.3 | Use: | Any use allowable in RA-2 zone | | |
| DCMR-11 C-1500.6 | Single enclosure: | Single penthouse structure or linked to create a single structure. | | |
| DCMR-11 C-1500.9 | Enclosing walls: | May be of unequal height for mechanical & habitable spaces | | |

| 3421 WISCONSIN AVE NW Washington, DC | | | | |
|---|--------------------------------|--|-----------------|---|
| Applicable Section(s) | Requirements | Values | C / NC / NA / P | Relevant Criteria |
| DCMR-11 C-1500.11 | Inclusionary zoning req- | Habitable PH space included for residential bldgs except for communal amenity space | N/A | No penthouse habitable space |
| DCMR-11 C-1502.1 | Setbacks- | 1:1 from front/rear walls; 0.5:1 from side walls not adjoining another bldg; 1:1 from side walls bordering an open court | C | |
| DCMR-11 C-1505.1 | FAR- | Included in max. FAR except for: mechanical space, communal rec space, habitable space <0.4 FAR | N/A | No applicable penthouse space |
| Parking: | | | | |
| | Existing spaces- | 0 spaces | | |
| DCMR11 C-704.2(b) | Addition to historic resource- | No additional spaces required | C | Requirement for spaces <4 |
| | Proposed- | 0 spaces | C | No additional parking required; historic resource where addition < 50% GFA and requires <4 spaces |
| Bicycle Parking: | | | | |
| | Existing spaces- | 0 spaces | | Existing to remain |
| DCMR11 C-802.6 | Addition to historic resource- | None required | | 5 dwelling units |
| | Provided- | None | C | Historical resource with <50% increase in GFA |
| DCMR11 C-901.1 | Loading Requirements: | | | |
| | Apartment house, required- | None | C | < 50 dwelling units |
| DCMR11 C-1001.2 | Inclusionary Zoning: | Not Applicable | N/A | 5 units < 10 unit threshold |
| DCMR-11 C-601.7 | Green Area Ratio: | 0.4 | N/A | Historic resource with <50% increase in GFA |
| DCMR-11 F-307.1 | | | | |

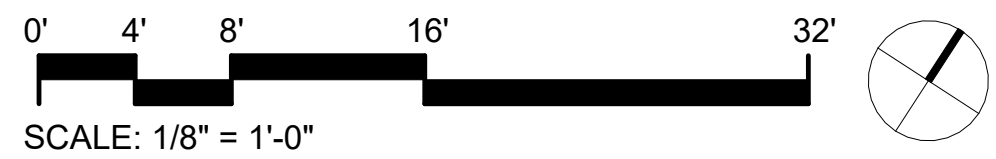
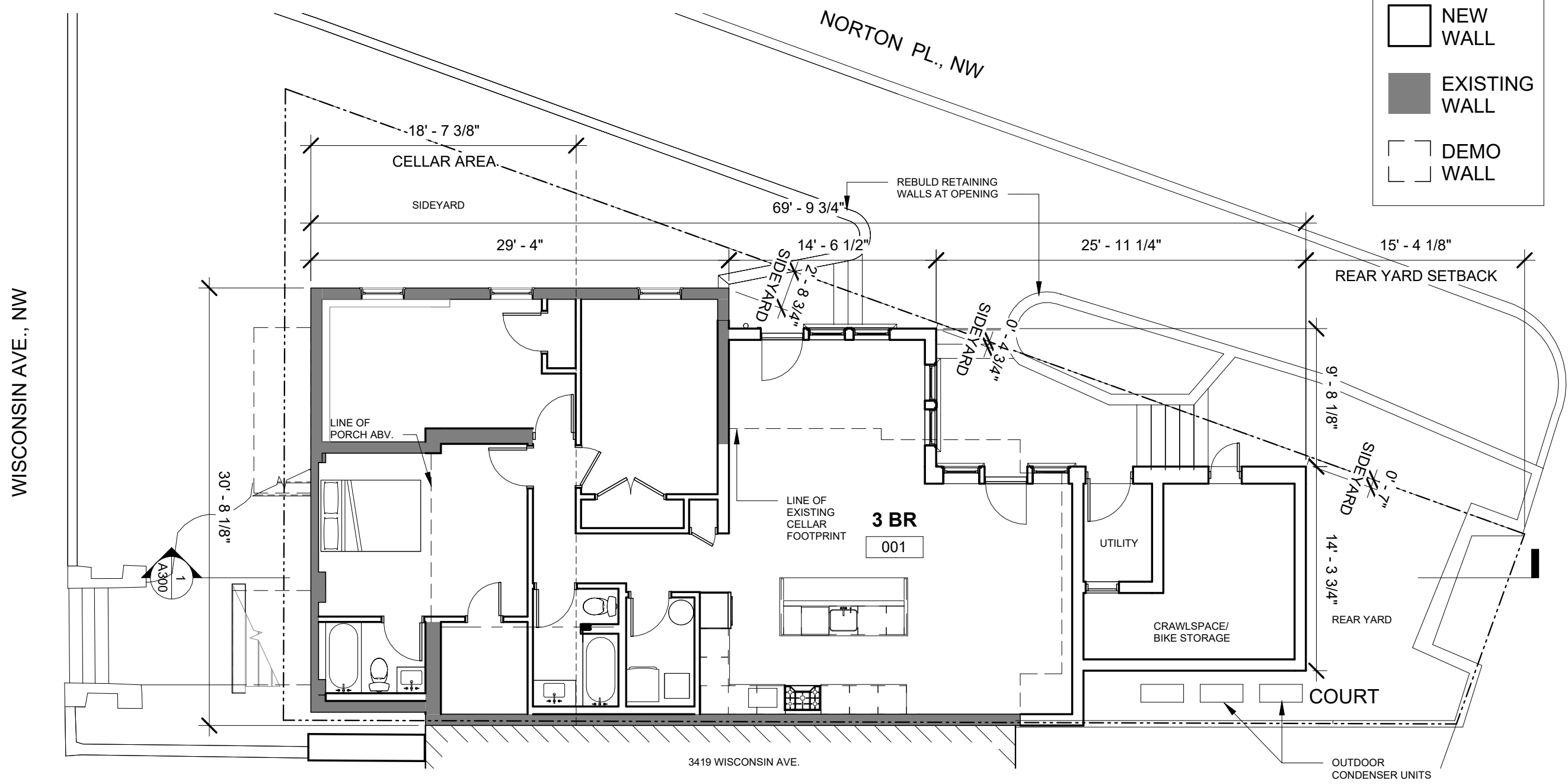
GFA/FAR CALCULATIONS




| Floor | Proposed GFA (SF) | Existing GFA (SF) | RA-2 FAR 1.8 MAX (SF) |
|-------------------------------|-------------------|-------------------|-----------------------|
| Cellar (NOT COUNTED) | 560 | 398 | |
| Basement (> 6.5' clg. Ht.) | 957 | 904 | |
| First Floor | 1680 | 1326 | |
| Second Floor | 1127 | 800 | |
| Third Floor (> 6.5' clg. Ht.) | 683 | 35 | |
| Total | 4447 | 3065 | 4453 |
| FAR | 1.80 | 1.24 | 1.8 |

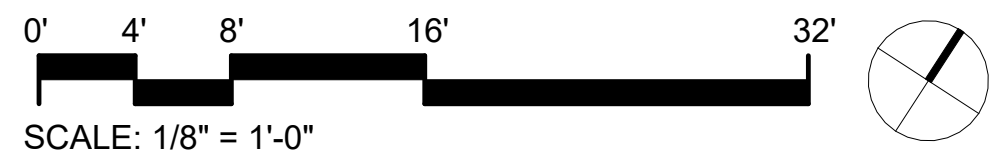
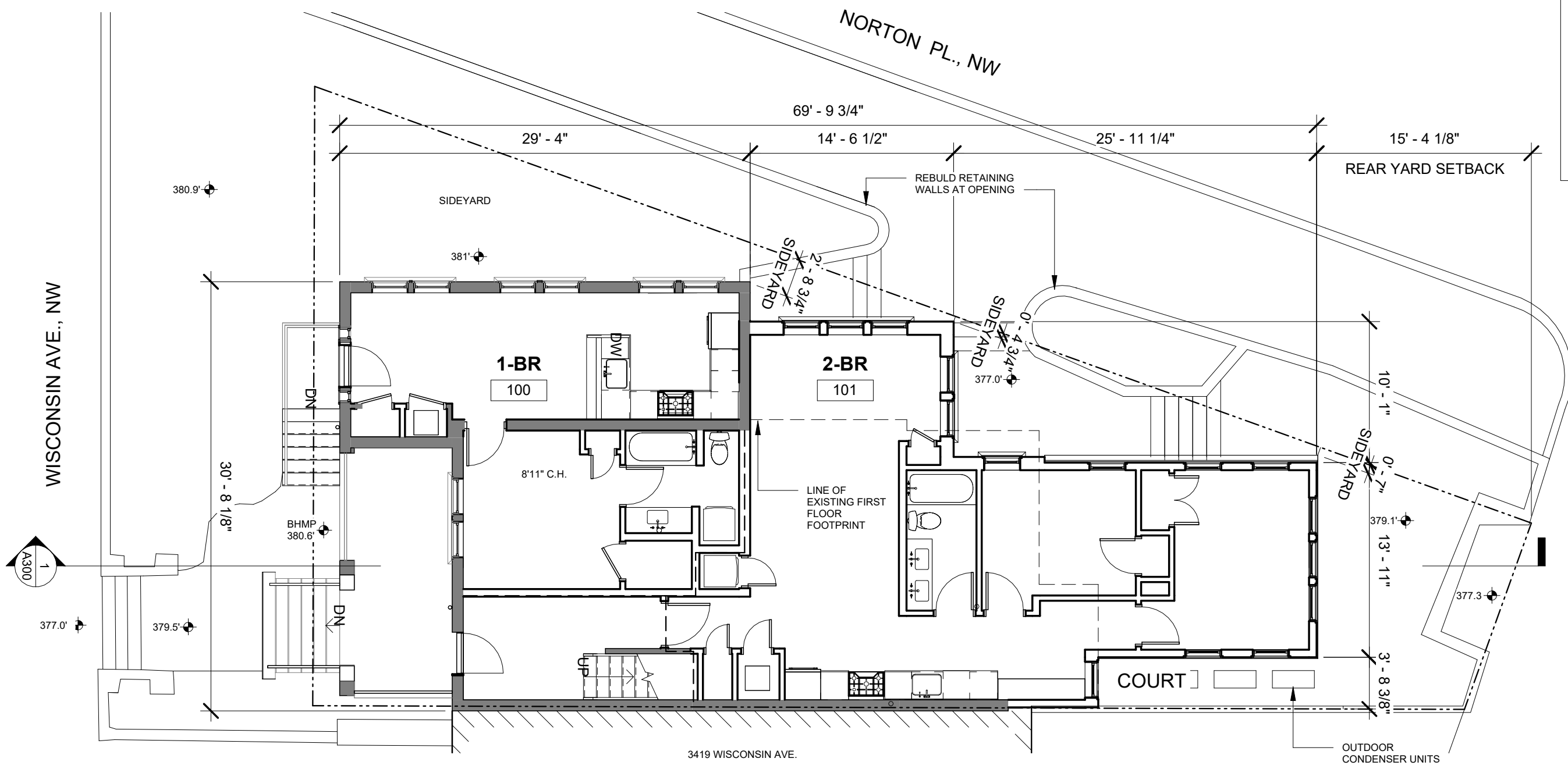
| Proposed Building Footprint (SF) | Lot Area (SF) | Lot Coverage (70% MAX) |
|----------------------------------|---------------|------------------------|
| 1705 | 2474 | 69% |

Abbreviations:
C- Conforming
NC- Non-Conforming
NA- Not Applicable
P- Prohibited

| WALL LEGEND | |
|-------------|---------------|
| | NEW WALL |
| | EXISTING WALL |
| | DEMO WALL |



| WALL LEGEND | |
|---|---------------|
|  | NEW WALL |
|  | EXISTING WALL |
|  | DEMO WALL |



PRESERVATION DC, LLC

PROPOSED FIRST FLOOR PLAN




3421 WISCONSIN AVE., NW

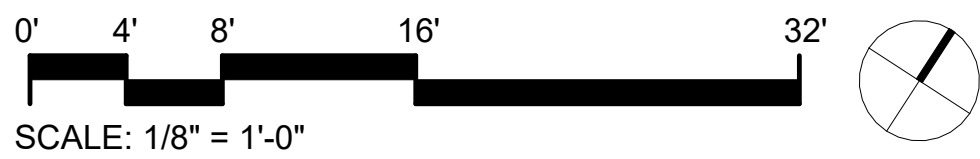
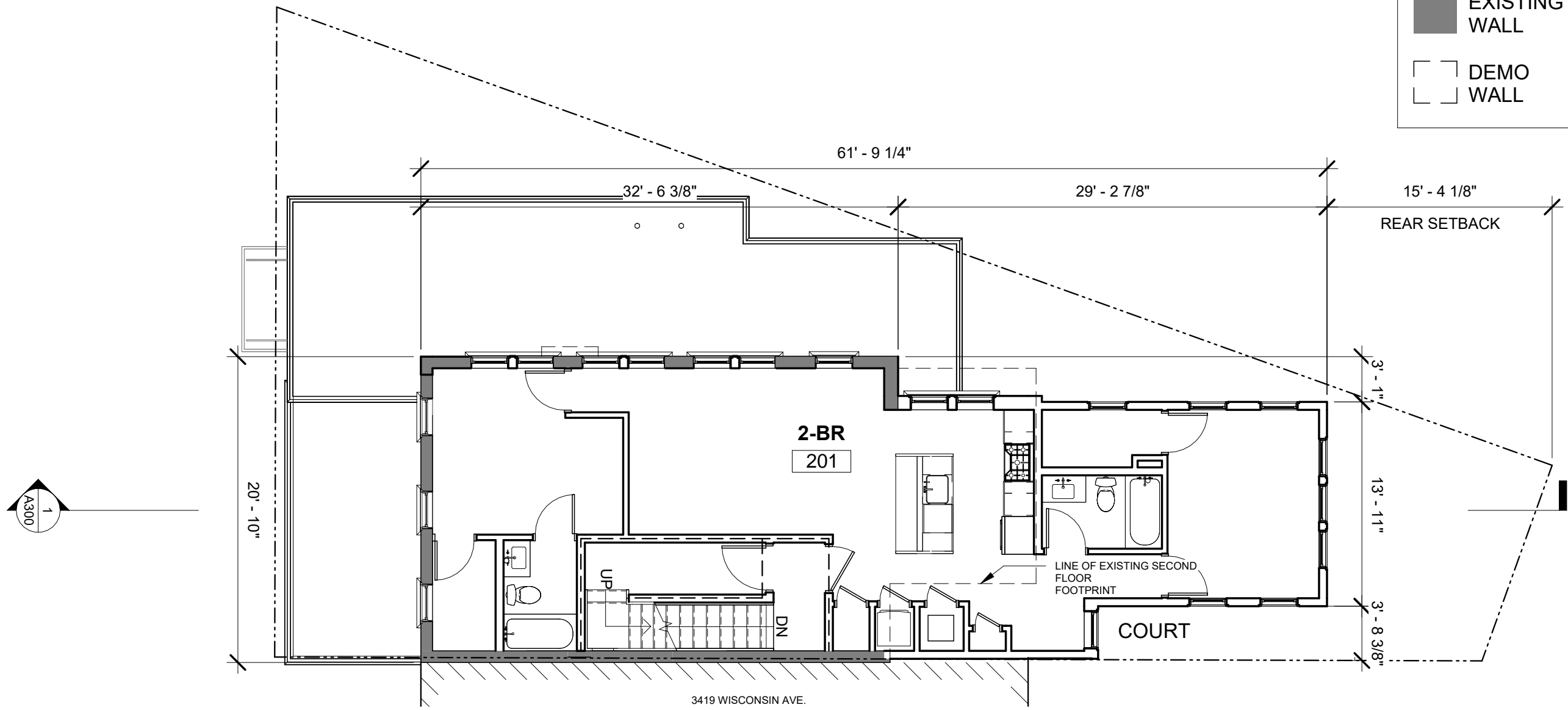
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1/8" = 1'-0"

A101 Bonstra Haresign ARCHITECTS

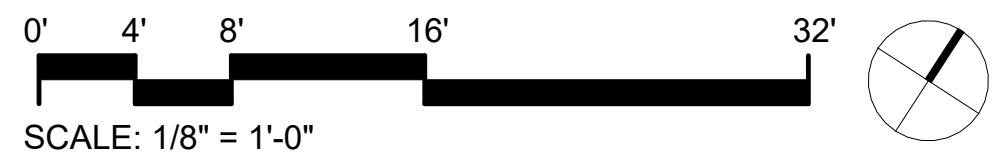
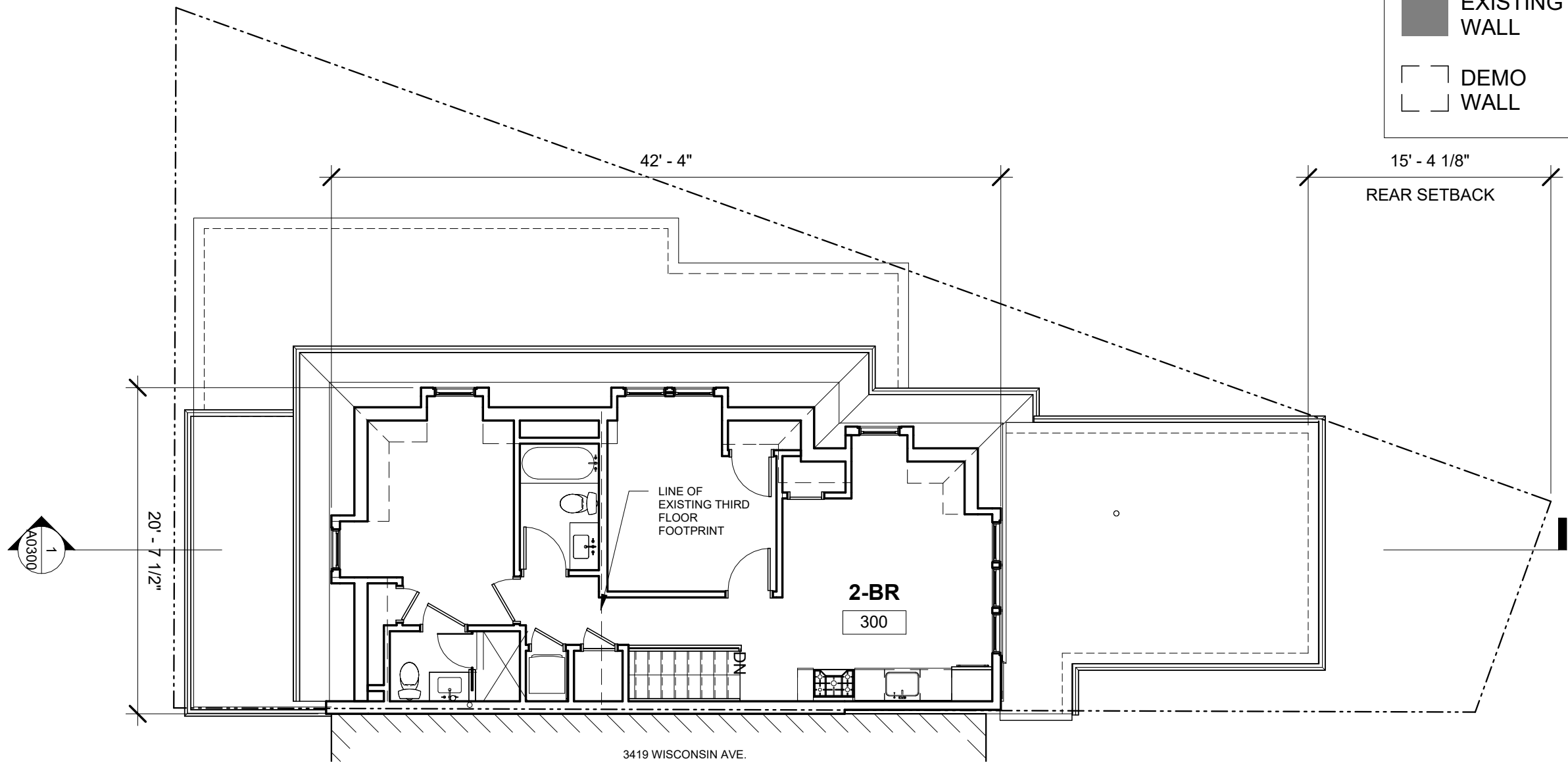
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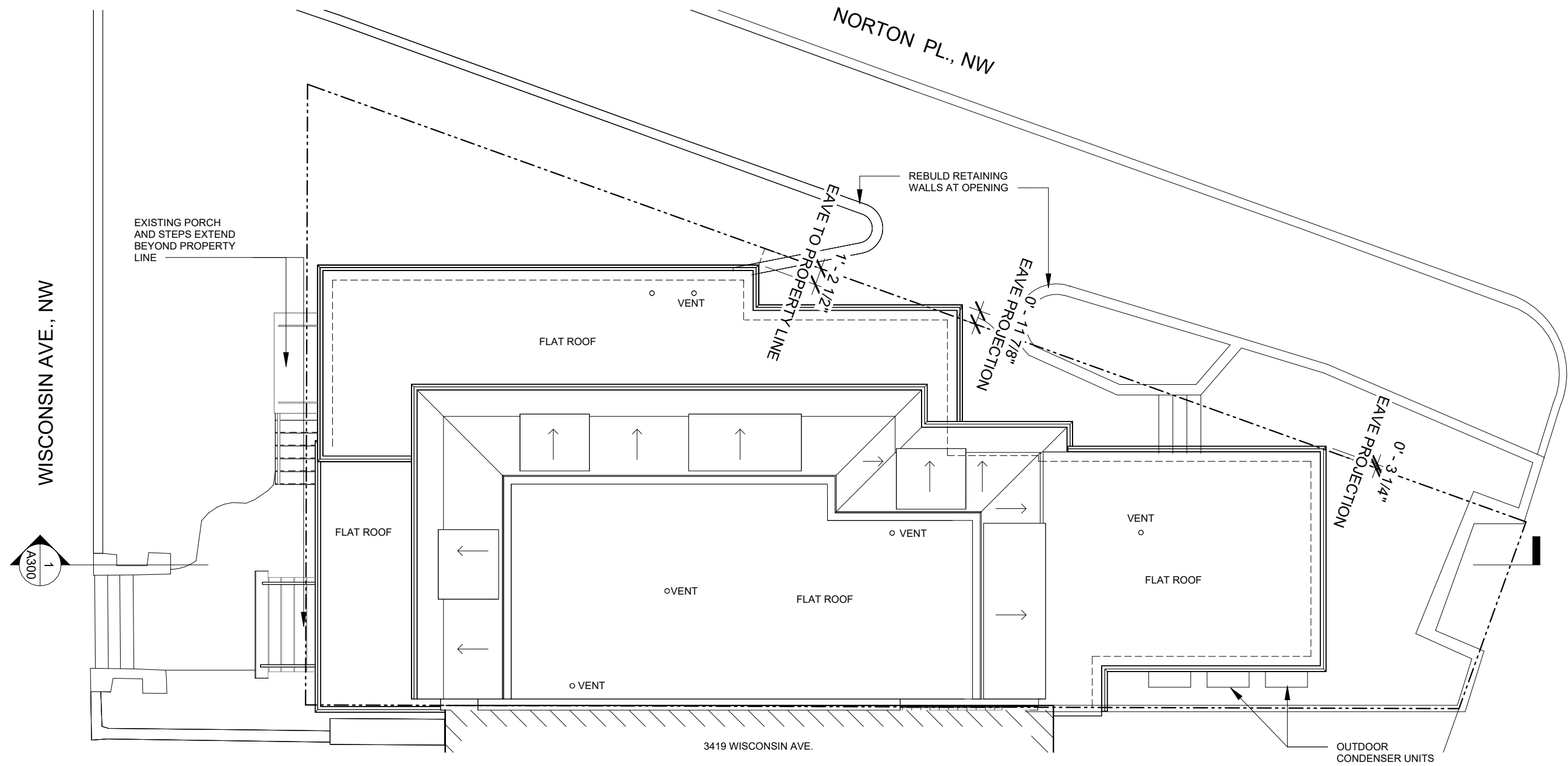
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-  EXISTING WALL
-  DEMO WALL



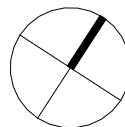
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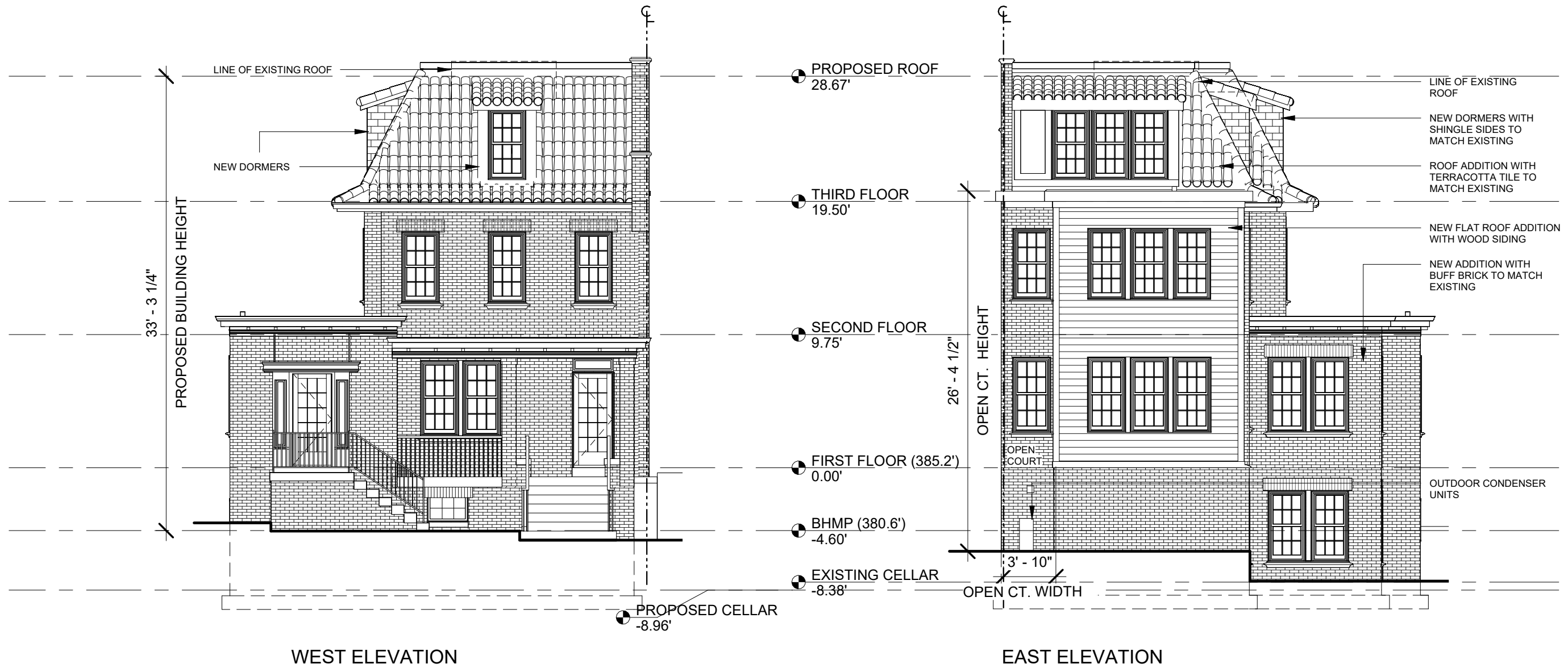
- NEW WALL
- EXISTING WALL
- DEMO WALL





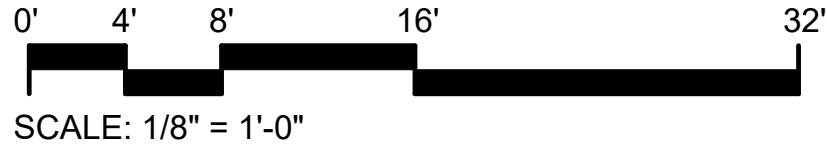
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WEST ELEVATION

EAST ELEVATION



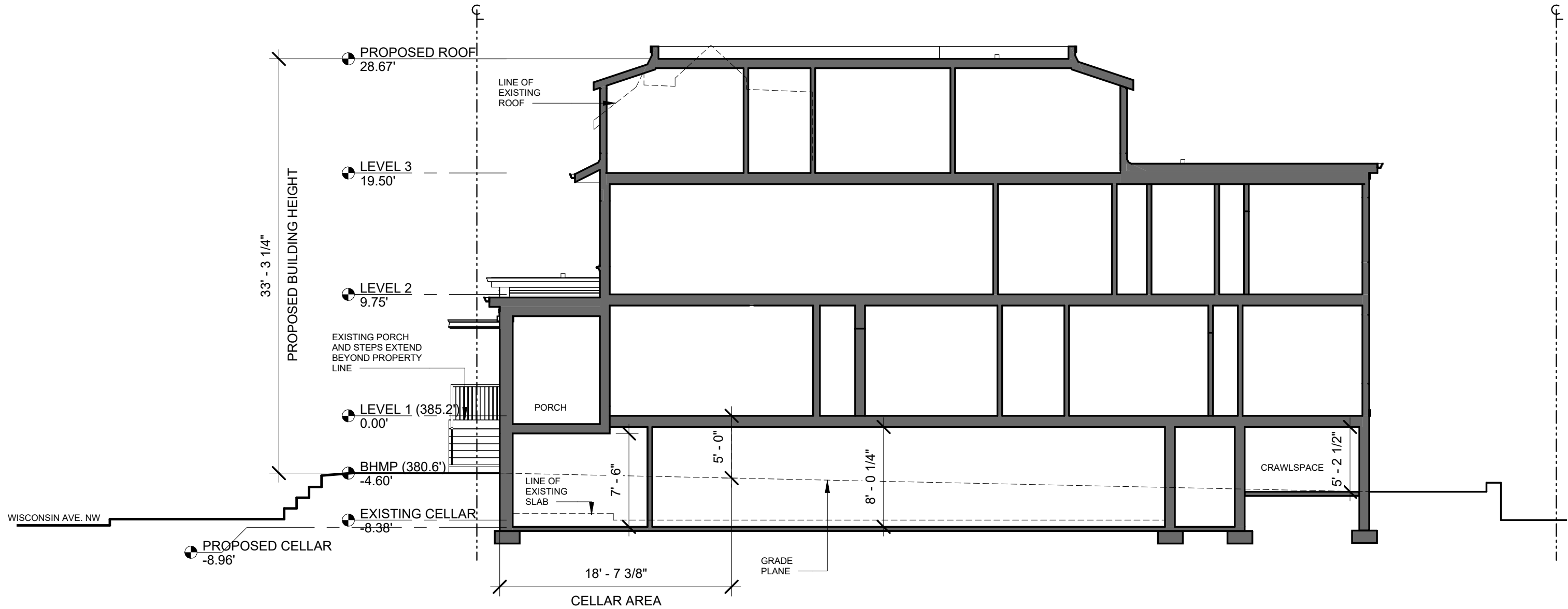


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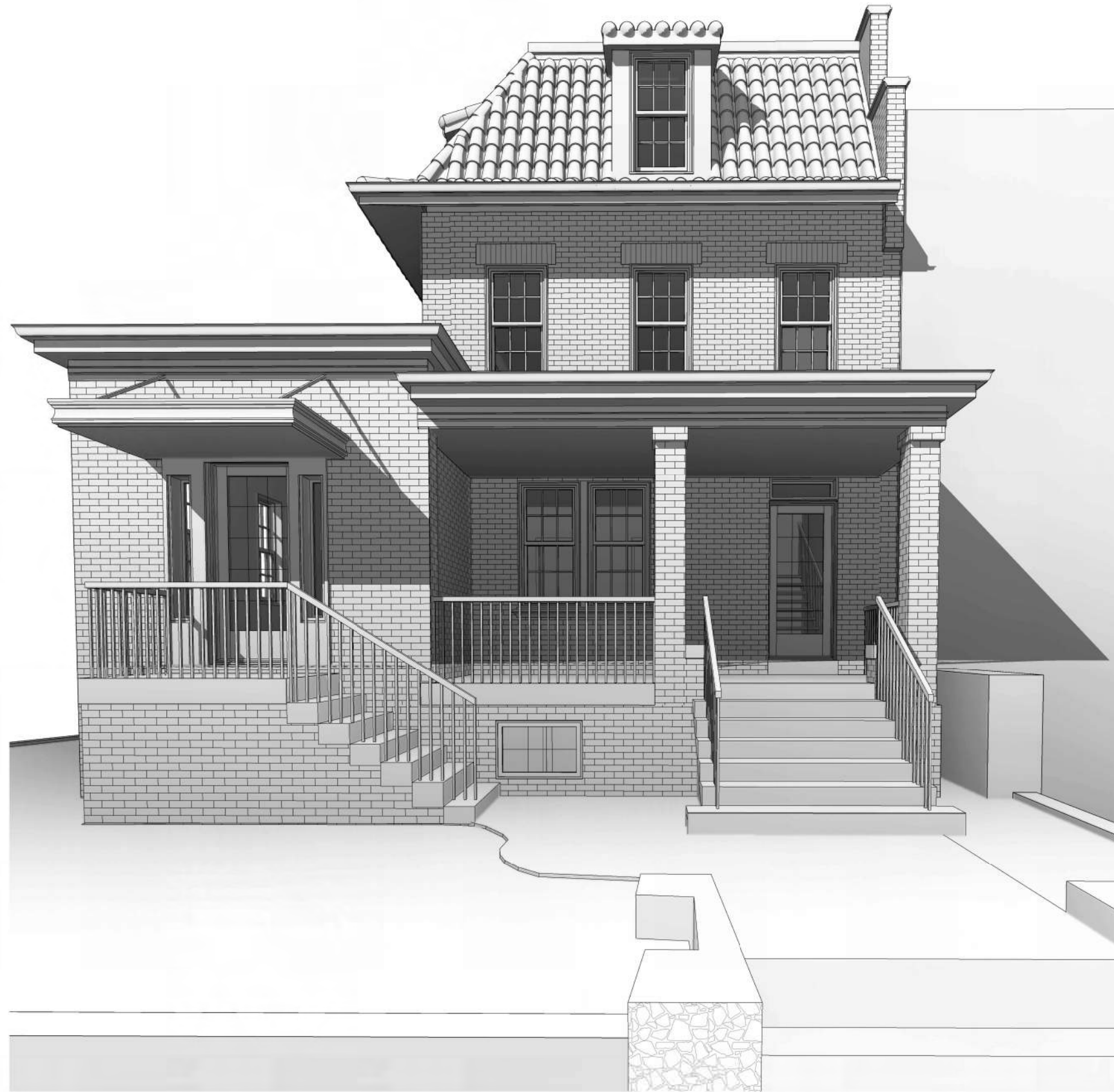
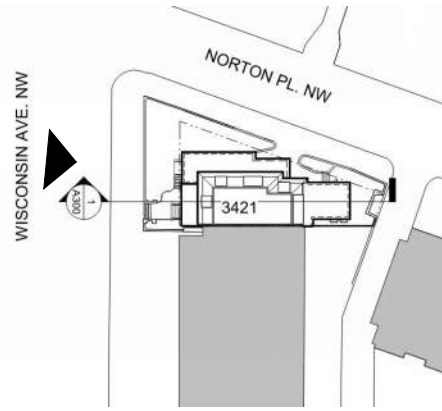
PRESERVATION DC, LLC

PROPOSED NORTH ELEVATION

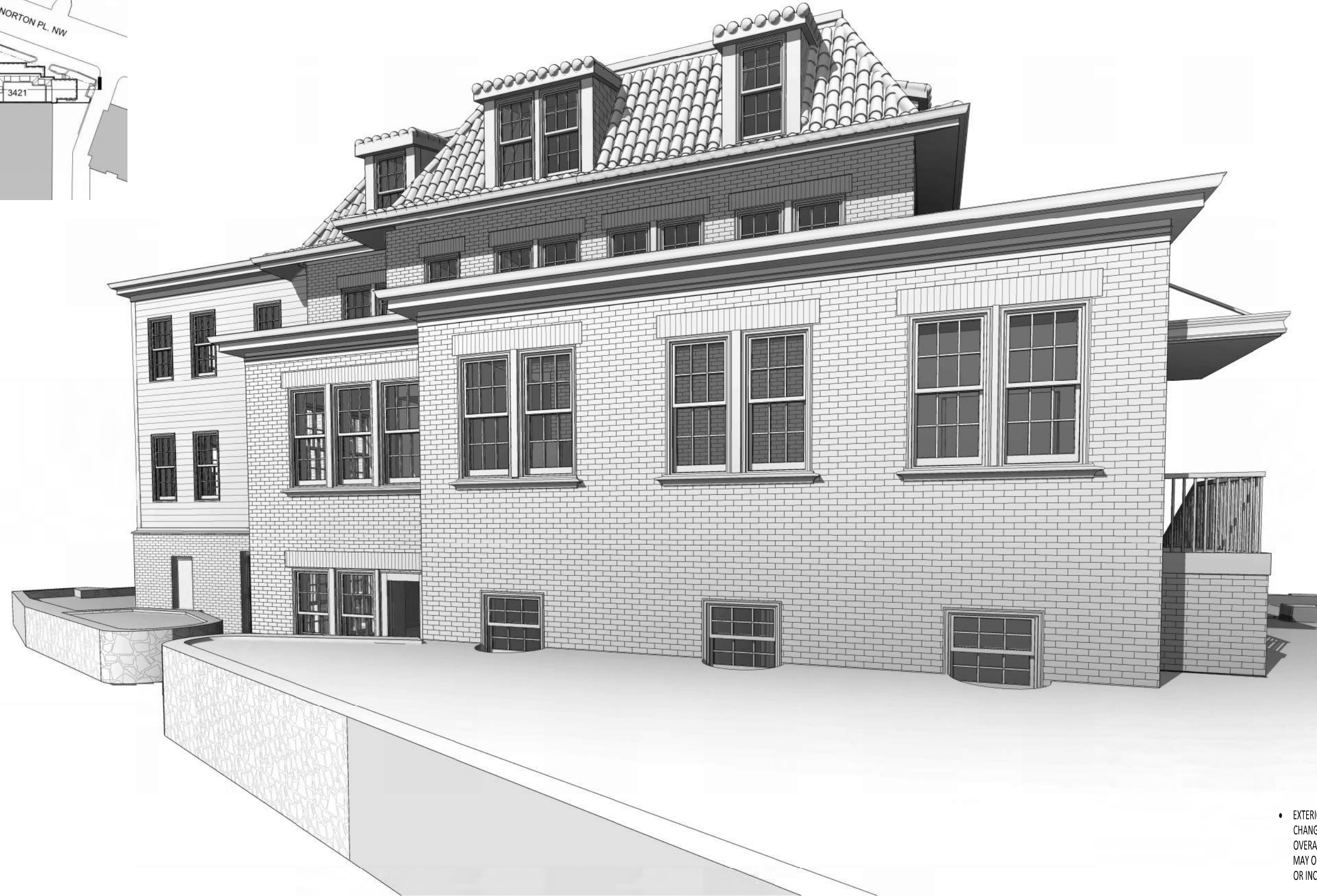
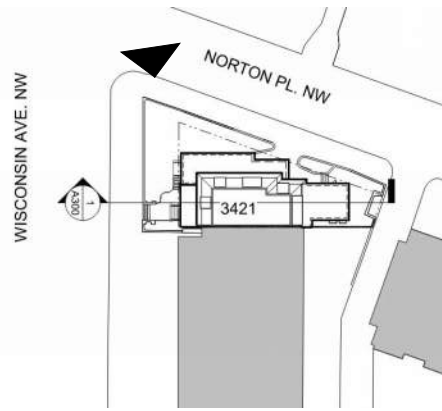
3421 WISCONSIN AVE., NW



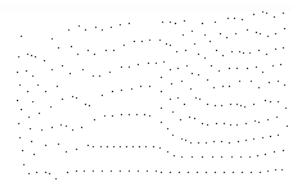
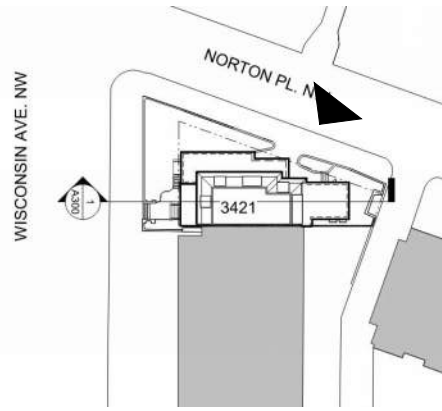
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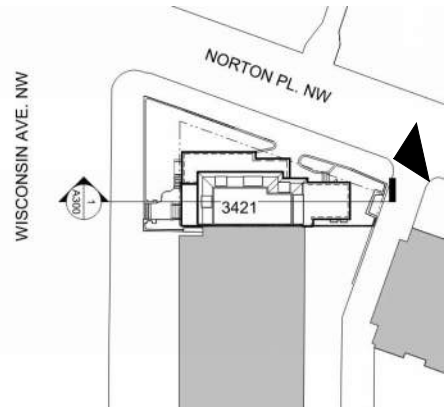
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OR INCREASE ANY AREAS OF BZA RELIEF.



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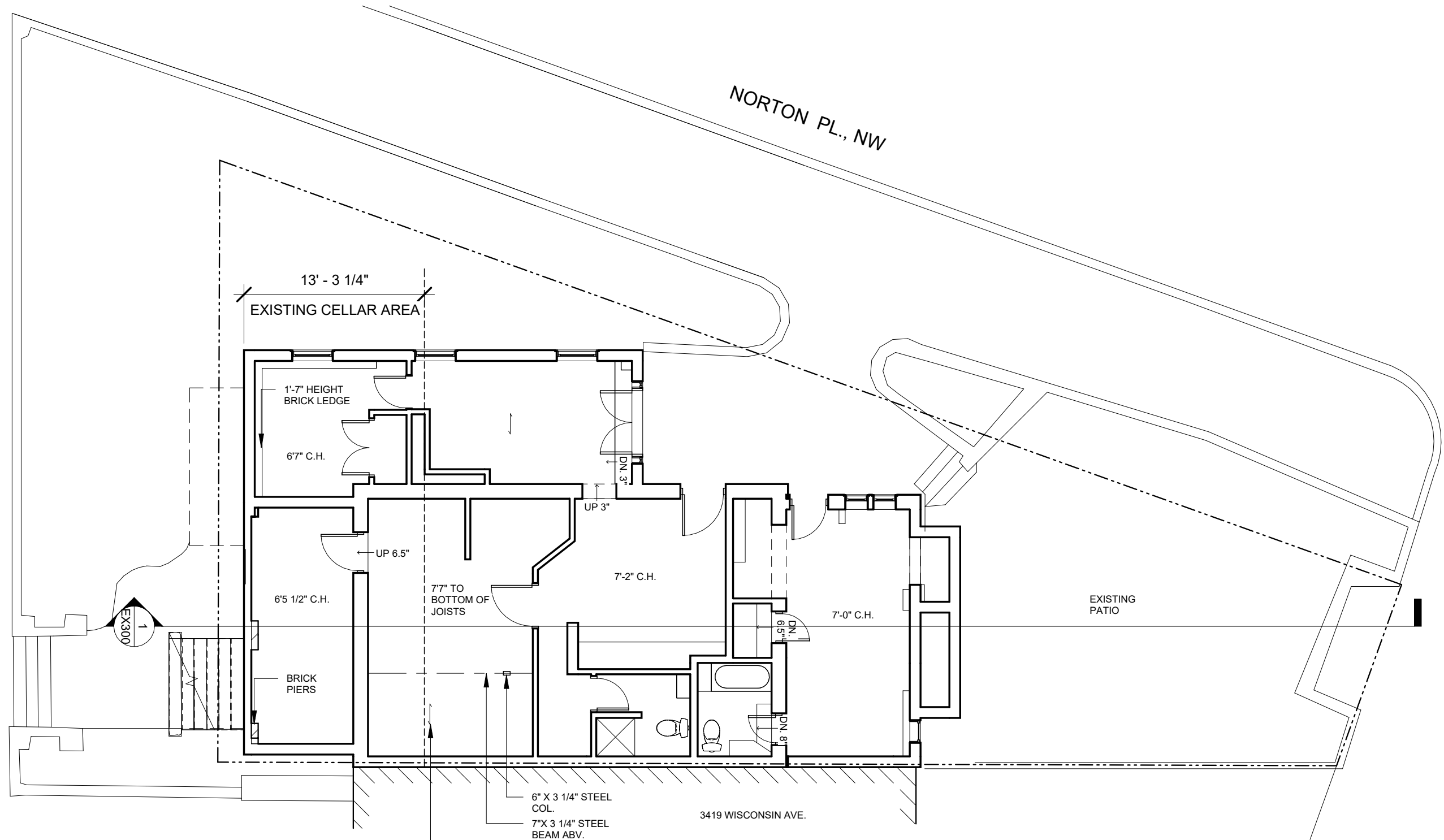
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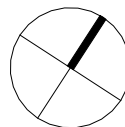
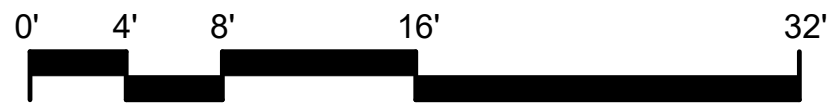
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WISCONSIN AVE., NW

NORTON PL., NW



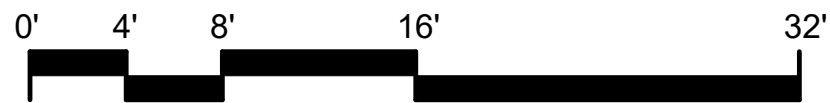
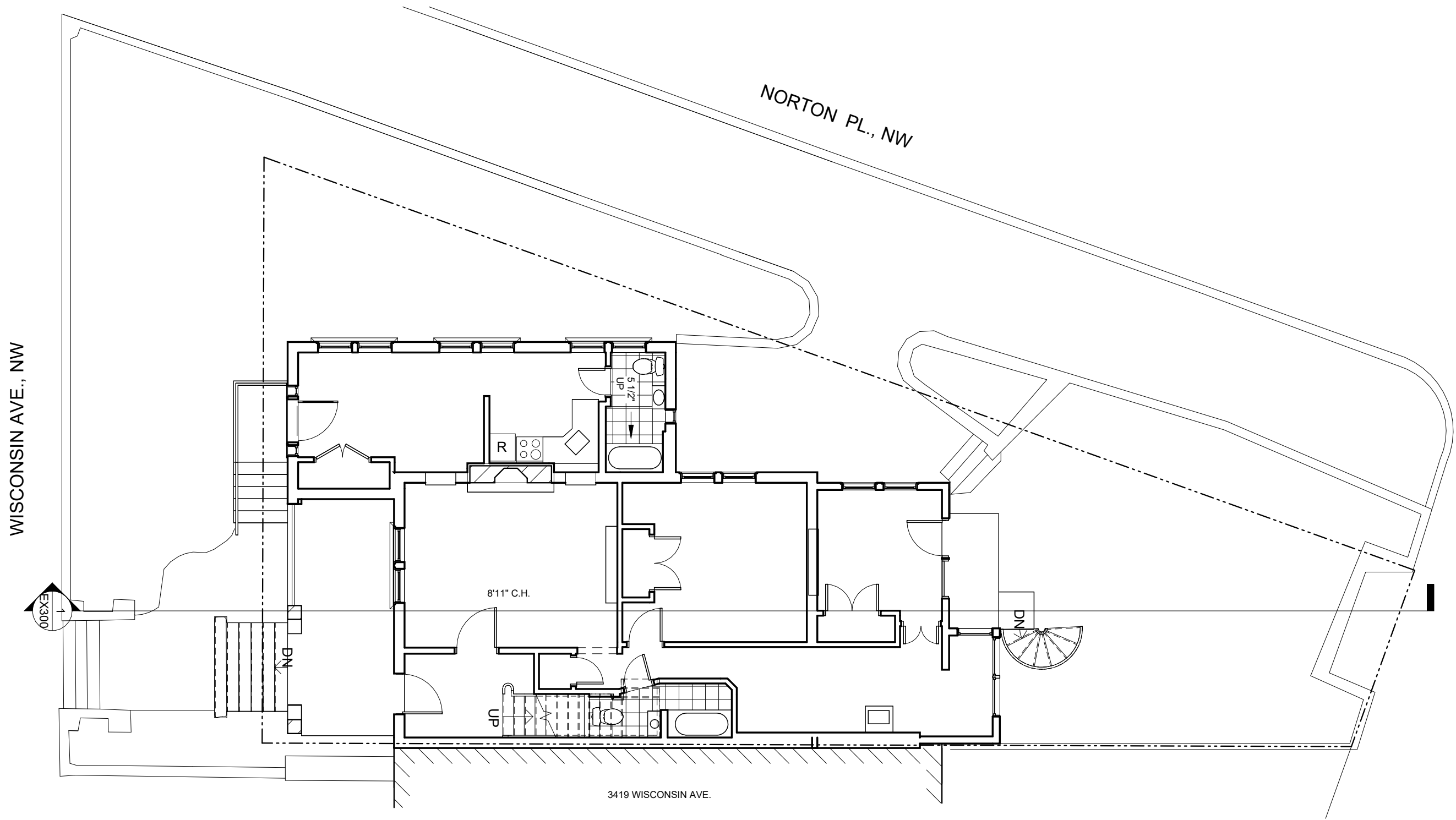
EXISTING BASEMENT FLOOR PLAN



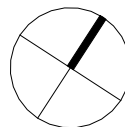
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EXISTING CELLAR PLAN

1/8" = 1'-0"



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PRESERVATION DC, LLC

EXISTING FIRST FLOOR PLAN

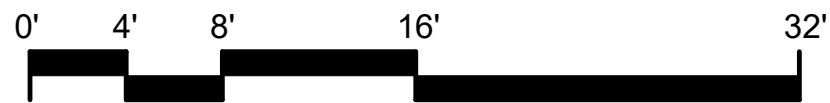
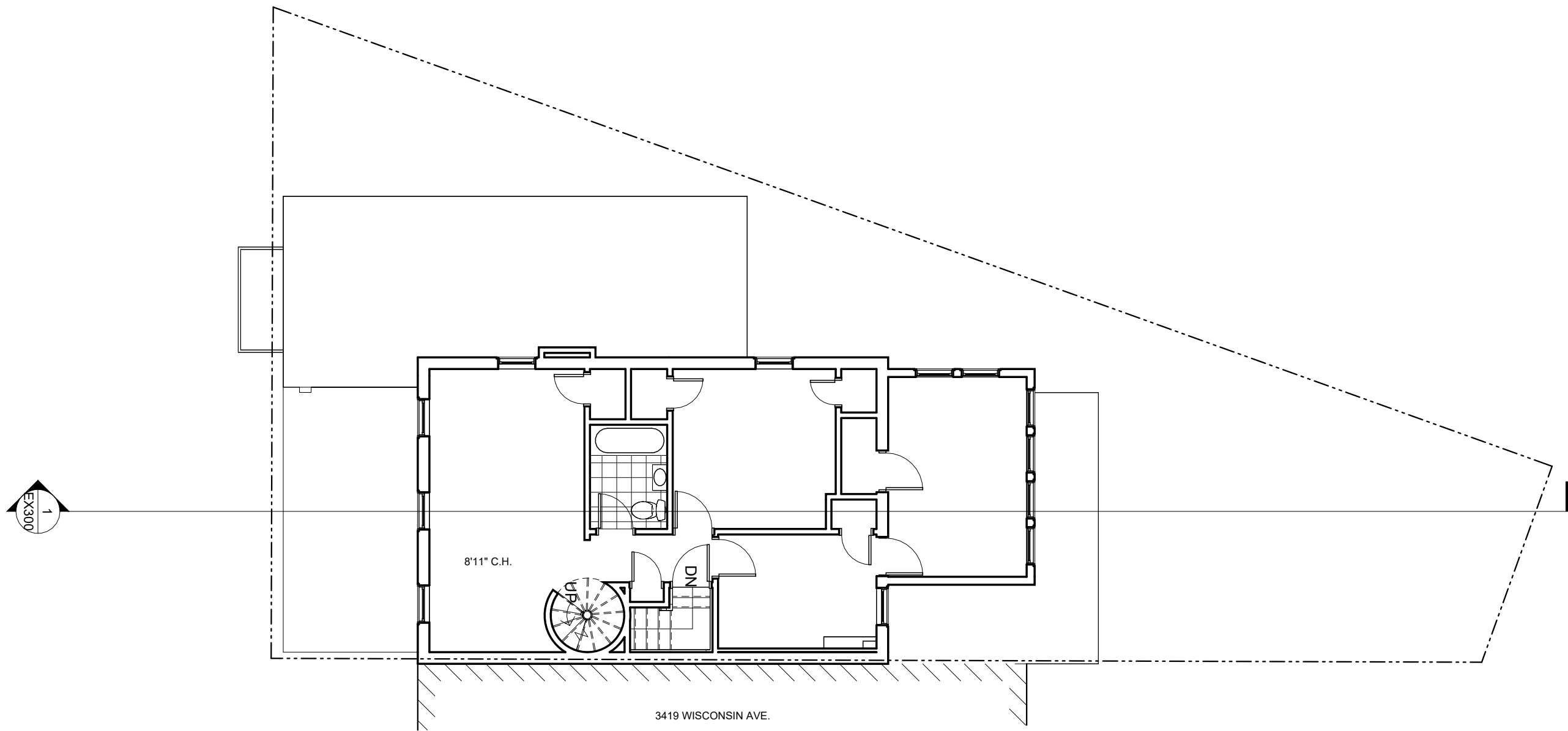
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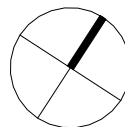
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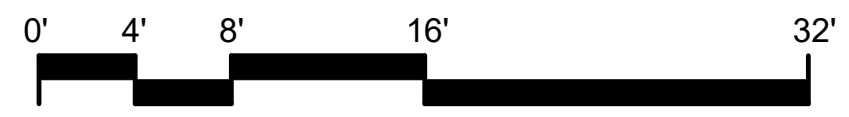
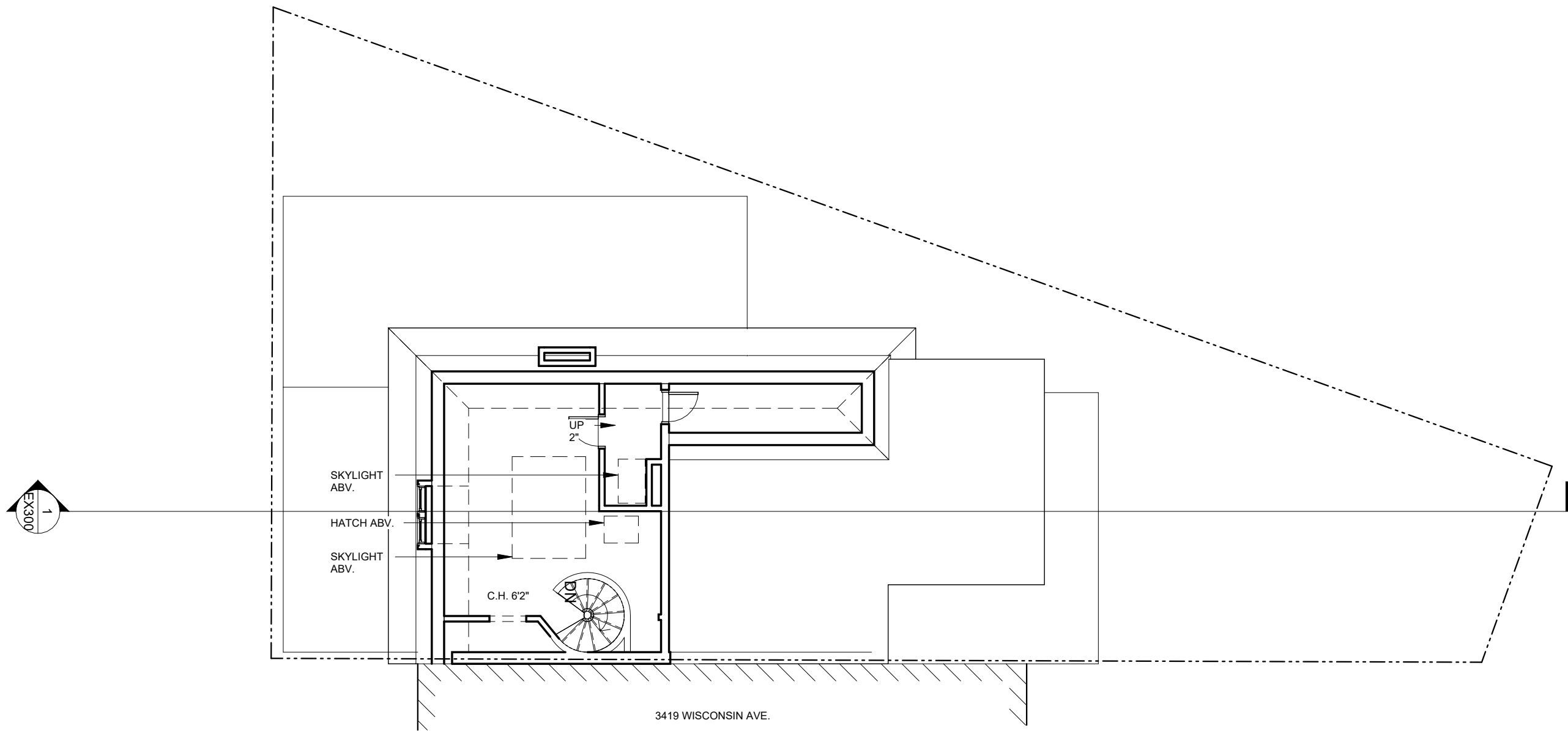
EX101

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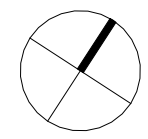


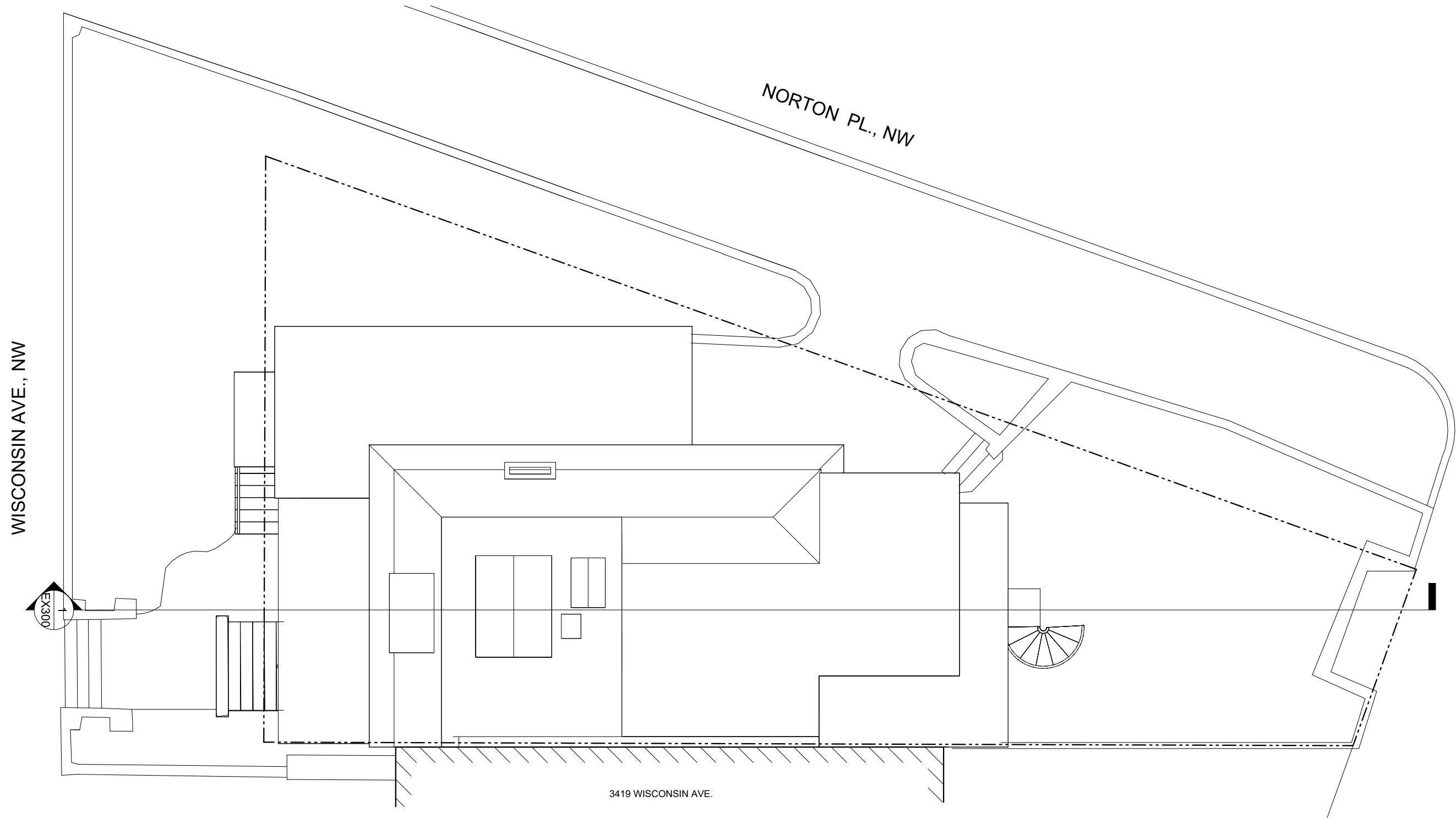
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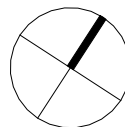


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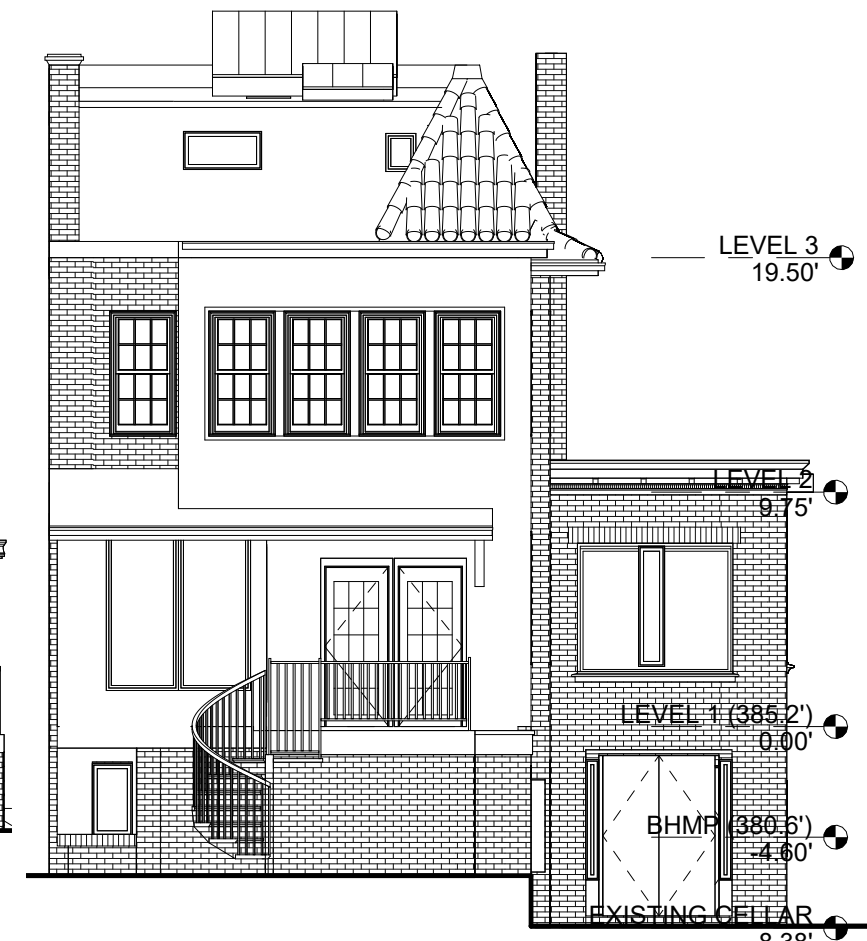




EXISTING WEST
ELEVATION



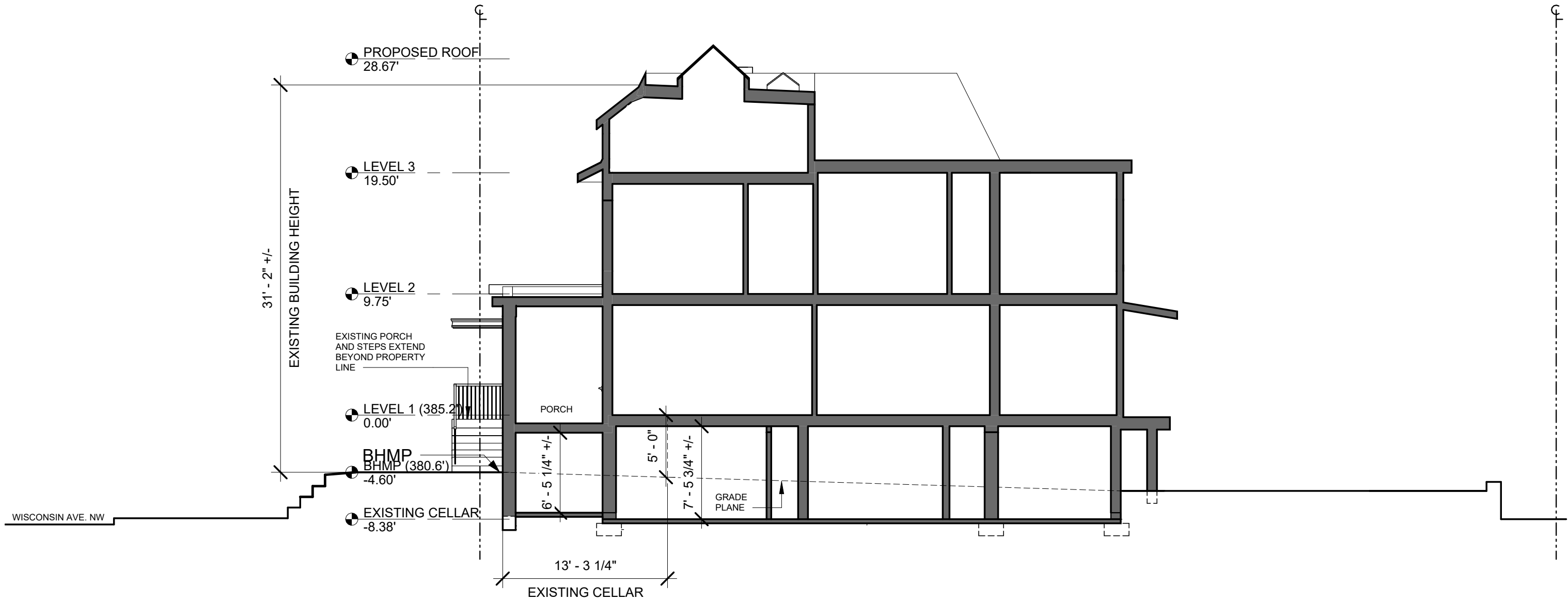
EXISTING NORTH
ELEVATION



EXISTING EAST
ELEVATION



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"